

Executive Summary Report

Characteristics-Based Market Adjustment for 2005 Assessment Roll

Area Name / Number: Lake City / 8

Previous Physical Inspection: 2004

Improved Sales:

Number of Sales: 638

Range of Sale Dates: 1/2003 - 12/2004

Sales – Improved Valuation Change Summary						
	Land	Imps	Total	Sale Price	Ratio	COV*
2004 Value	\$125,500	\$154,000	\$279,500	\$303,500	92.1%	10.09%
2005 Value	\$136,600	\$163,800	\$300,400	\$303,500	99.0%	9.87%
Change	+\$11,100	+\$9,800	+\$20,900		+6.9%	-0.22%
% Change	+8.8%	+6.4%	+7.5%		+7.5%	-2.15%

*COV is a measure of uniformity; the lower the number the better the uniformity. The negative figures of -0.22% and -2.15% represent an improvement.

Sales used in this analysis: All sales of one to three unit residences on residential lots which were verified as, or appeared to be market sales were considered for the analysis. Individual sales that were excluded are listed later in this report. Multi-parcel sales, multi-building sales, mobile home sales, and sales of new construction where less than a 100% complete house was assessed for 2004 or any existing residence where the data for 2004 is significantly different from the data for 2005 due to remodeling were also excluded. In addition, the summary above excludes sales of parcels that had improvement value of \$10,000 or less posted for the 2004 Assessment Roll. This also excludes previously vacant and destroyed property partial value accounts.

Population - Improved Parcel Summary:			
	Land	Imps	Total
2004 Value	\$128,500	\$151,800	\$280,300
2005 Value	\$139,500	\$162,100	\$301,600
Percent Change	+8.6%	+6.8%	+7.6%

Number of one to three unit residences in the Population: 6193

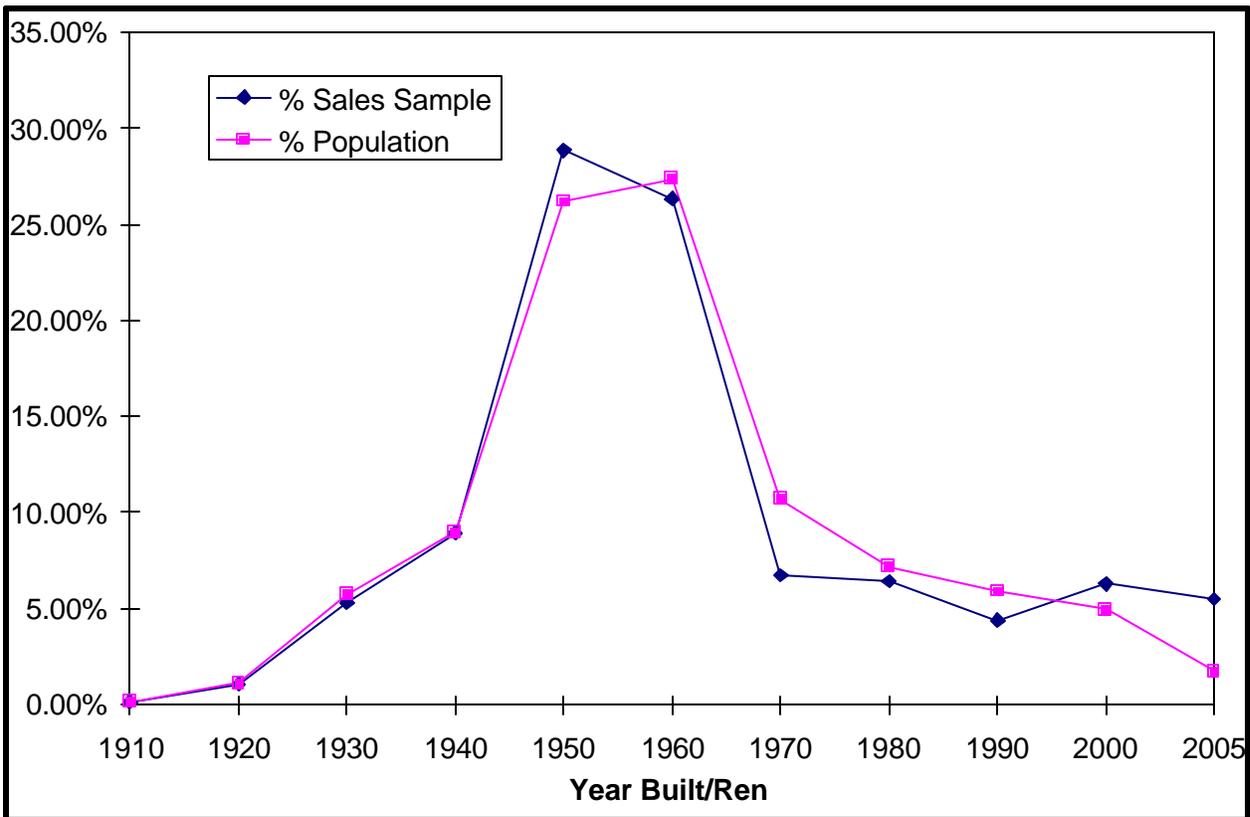
Summary of Findings: The analysis for this area consisted of a general review of applicable characteristics such as grade, age, condition, stories, living area, views, waterfront, lot size, land problems and neighborhoods. The analysis results showed that two characteristic-based variables needed to be included in the update formula in order to improve the uniformity of assessments throughout the area. Homes in *Good Condition* were at an overall higher assessment level than the rest of the sales sample and were adjusted upward less than others. Homes that have *800 SF or less of Total Living Area* were at a much higher assessment level than others and the formula adjusted them slightly downward overall. The formula adjusts for these differences thus improving equalization.

The Annual Update Values described in this report improve assessment levels, uniformity and equity. We recommend posting these values for the 2005 assessment roll.

Sales Sample Representation of Population - Year Built / Renovated

Sales Sample		
Year Built/Ren	Frequency	% Sales Sample
1910	1	0.16%
1920	7	1.10%
1930	34	5.33%
1940	57	8.93%
1950	184	28.84%
1960	168	26.33%
1970	43	6.74%
1980	41	6.43%
1990	28	4.39%
2000	40	6.27%
2005	35	5.49%
	638	

Population		
Year Built/Ren	Frequency	% Population
1910	9	0.15%
1920	69	1.11%
1930	356	5.75%
1940	556	8.98%
1950	1622	26.19%
1960	1694	27.35%
1970	662	10.69%
1980	445	7.19%
1990	365	5.89%
2000	307	4.96%
2005	108	1.74%
	6193	

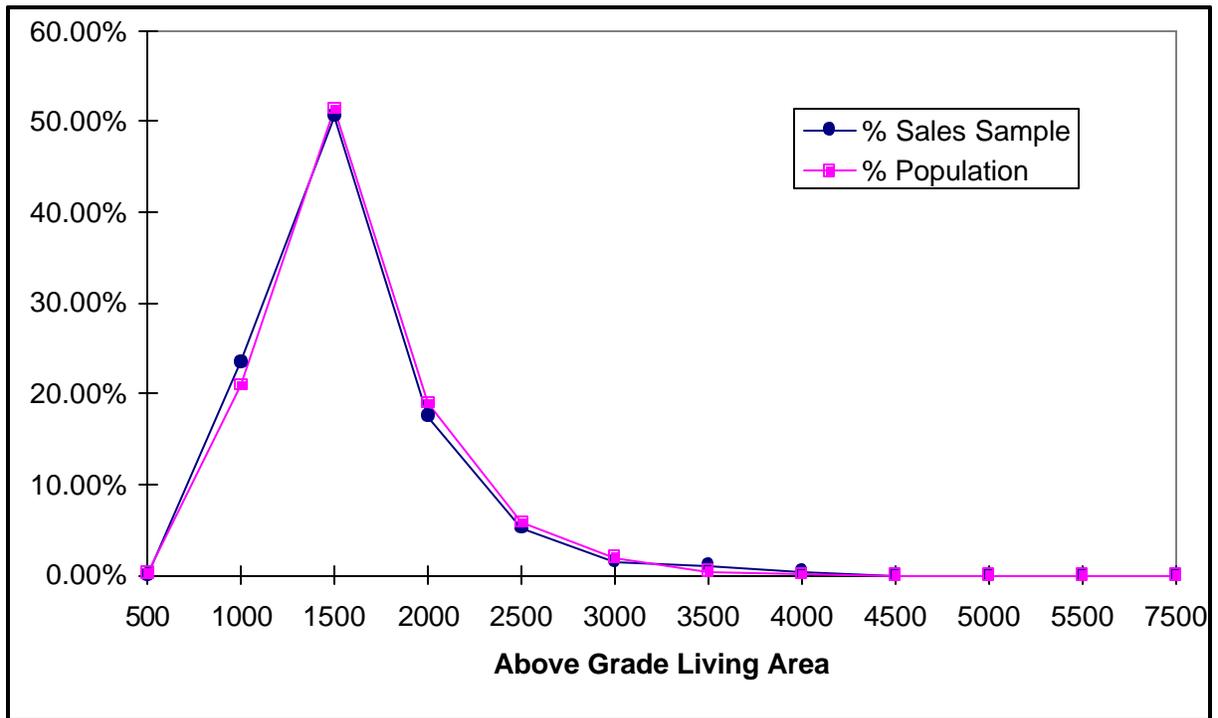


Sales of new homes built in the last five years are over-represented in this sample. This is a common occurrence due to the fact that most new homes will sell shortly after completion.

Sales Sample Representation of Population - Above Grade Living Area

Sales Sample		
AGLA	Frequency	% Sales Sample
500	0	0.00%
1000	150	23.51%
1500	323	50.63%
2000	112	17.55%
2500	33	5.17%
3000	10	1.57%
3500	7	1.10%
4000	3	0.47%
4500	0	0.00%
5000	0	0.00%
5500	0	0.00%
7500	0	0.00%
	638	

Population		
AGLA	Frequency	% Population
500	14	0.23%
1000	1299	20.98%
1500	3183	51.40%
2000	1180	19.05%
2500	359	5.80%
3000	122	1.97%
3500	28	0.45%
4000	7	0.11%
4500	0	0.00%
5000	1	0.02%
5500	0	0.00%
7500	0	0.00%
	6193	

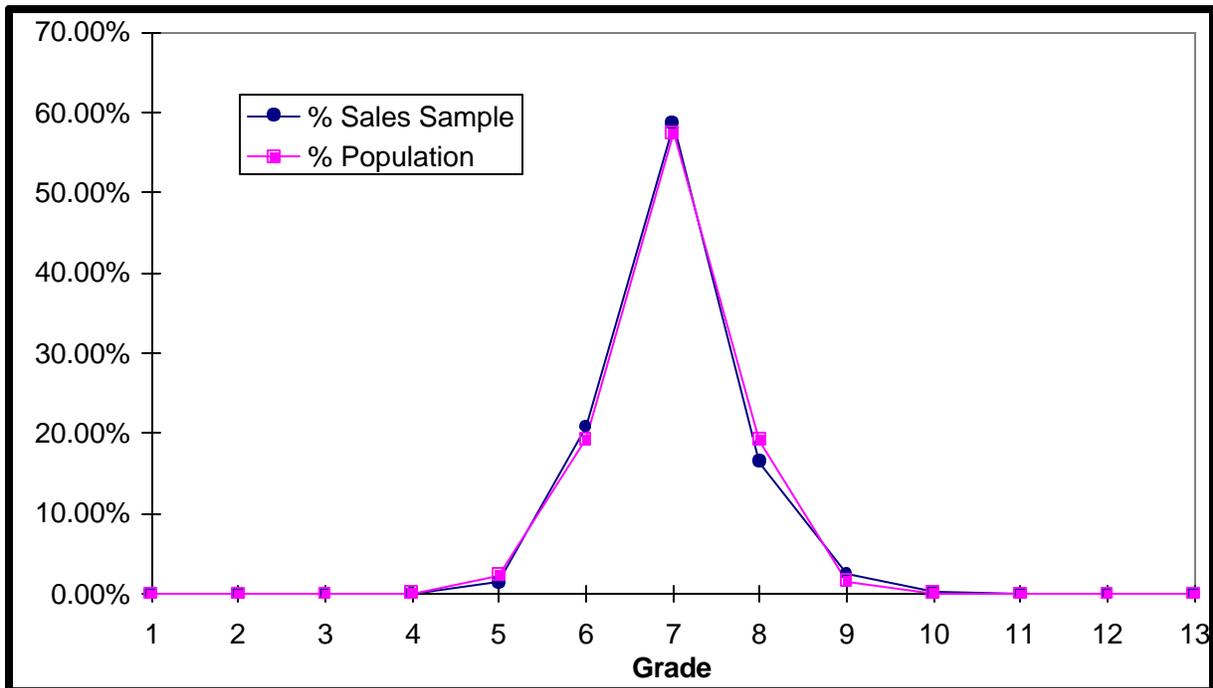


The sales sample frequency distribution follows the population distribution very closely with regard to Above Grade Living Area. This distribution is ideal for both accurate analysis and appraisals.

Sales Sample Representation of Population - Grade

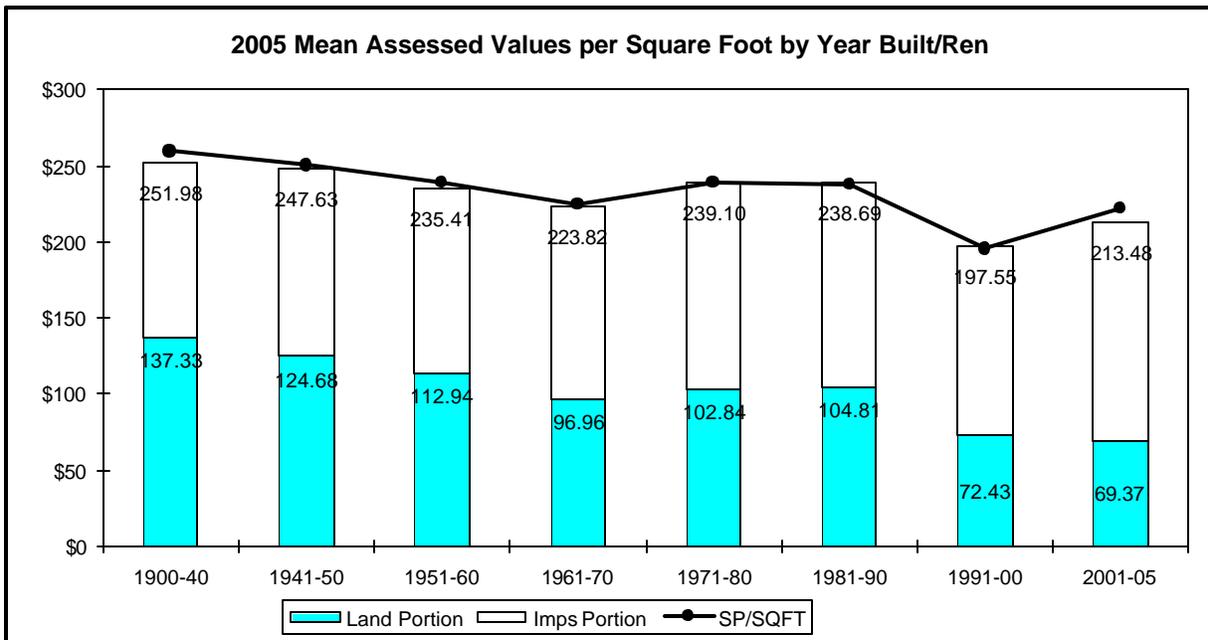
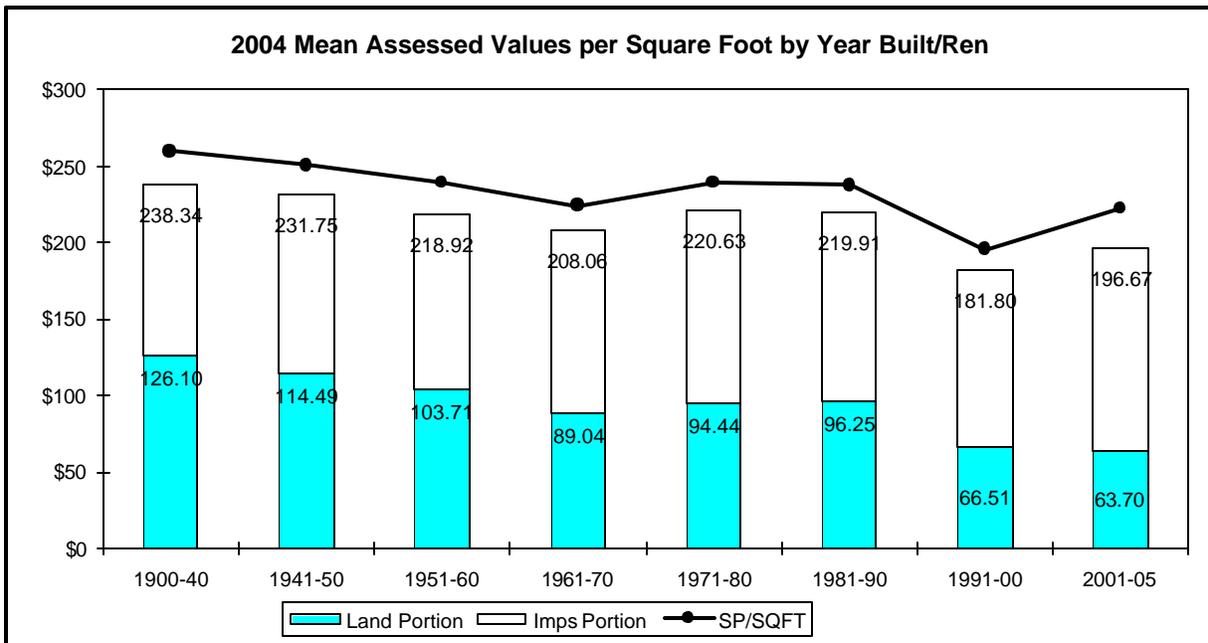
Sales Sample		
Grade	Frequency	% Sales Sample
1	0	0.00%
2	0	0.00%
3	0	0.00%
4	0	0.00%
5	9	1.41%
6	133	20.85%
7	374	58.62%
8	105	16.46%
9	16	2.51%
10	1	0.16%
11	0	0.00%
12	0	0.00%
13	0	0.00%
	638	

Population		
Grade	Frequency	% Population
1	0	0.00%
2	0	0.00%
3	1	0.02%
4	7	0.11%
5	144	2.33%
6	1191	19.23%
7	3554	57.39%
8	1188	19.18%
9	101	1.63%
10	6	0.10%
11	1	0.02%
12	0	0.00%
13	0	0.00%
	6193	



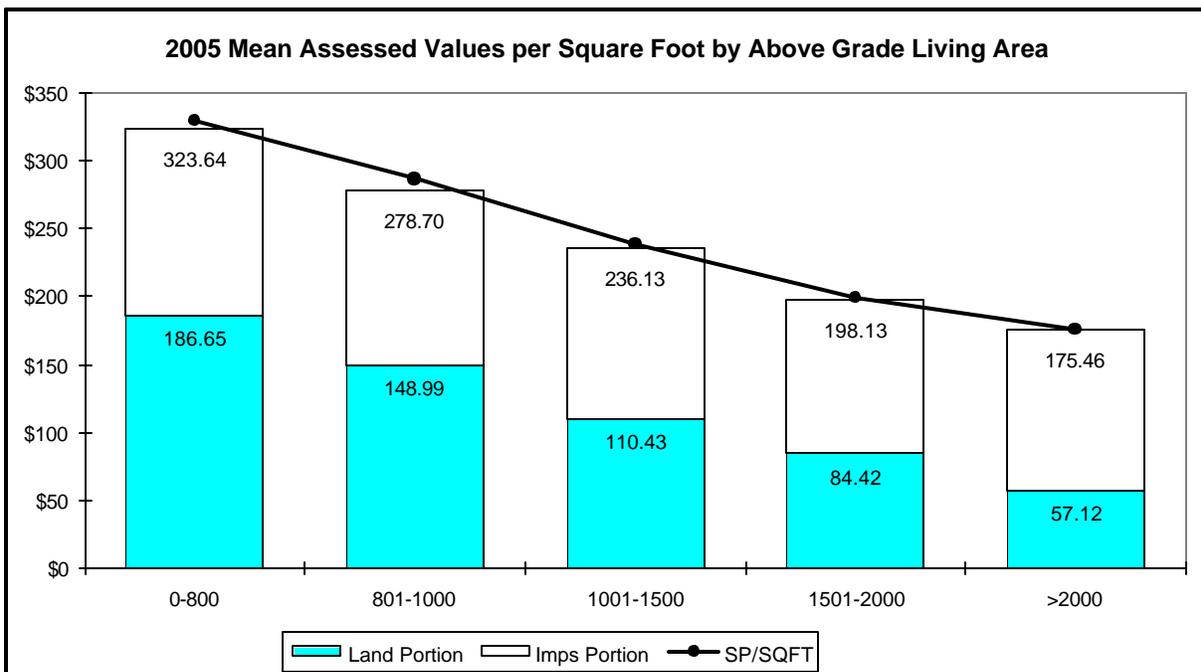
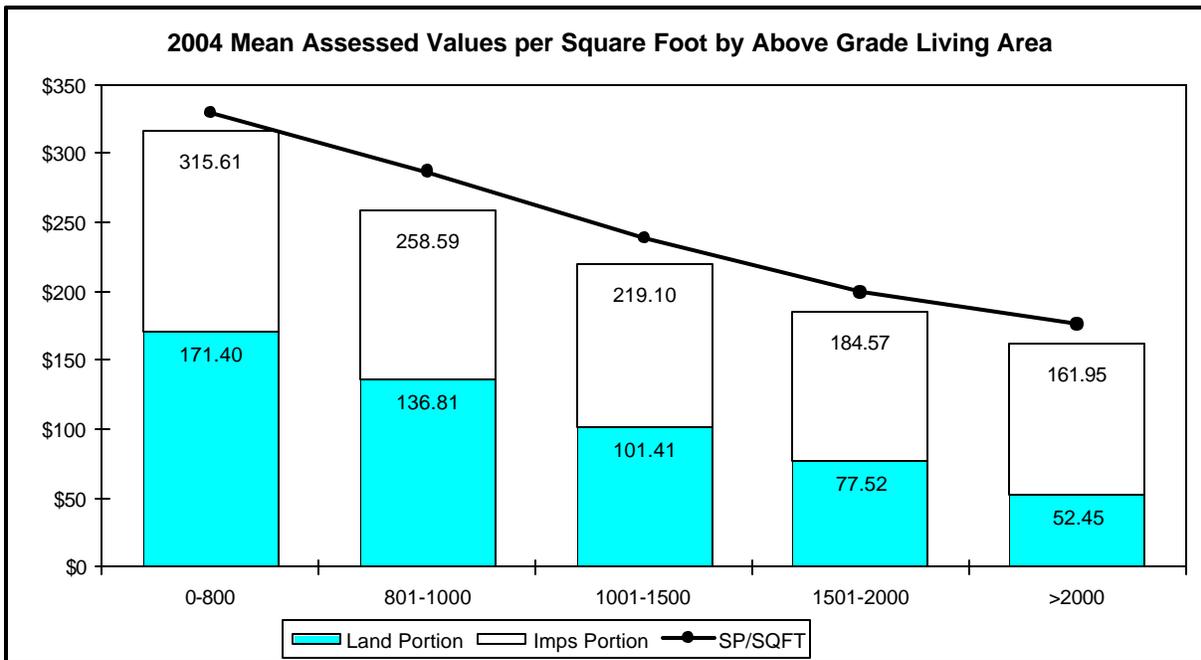
The sales sample frequency distribution follows the population distribution very closely with regard to Building Grade. This distribution is ideal for both accurate analysis and appraisals.

Comparison of 2004 and 2005 Per Square Foot Values By Year Built / Renovated



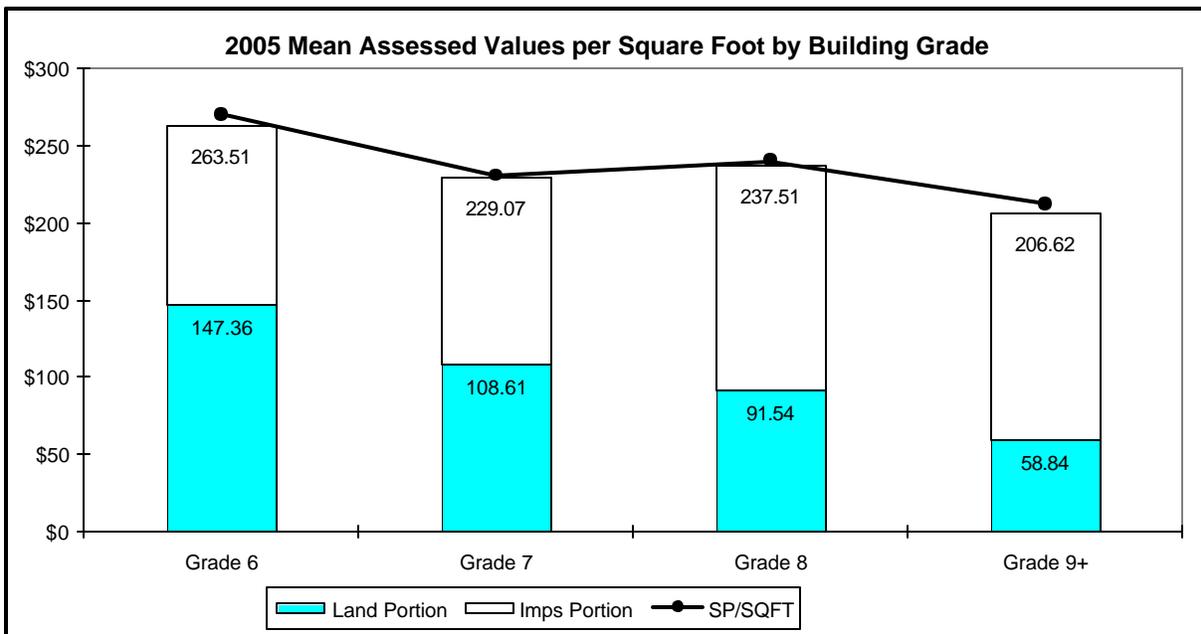
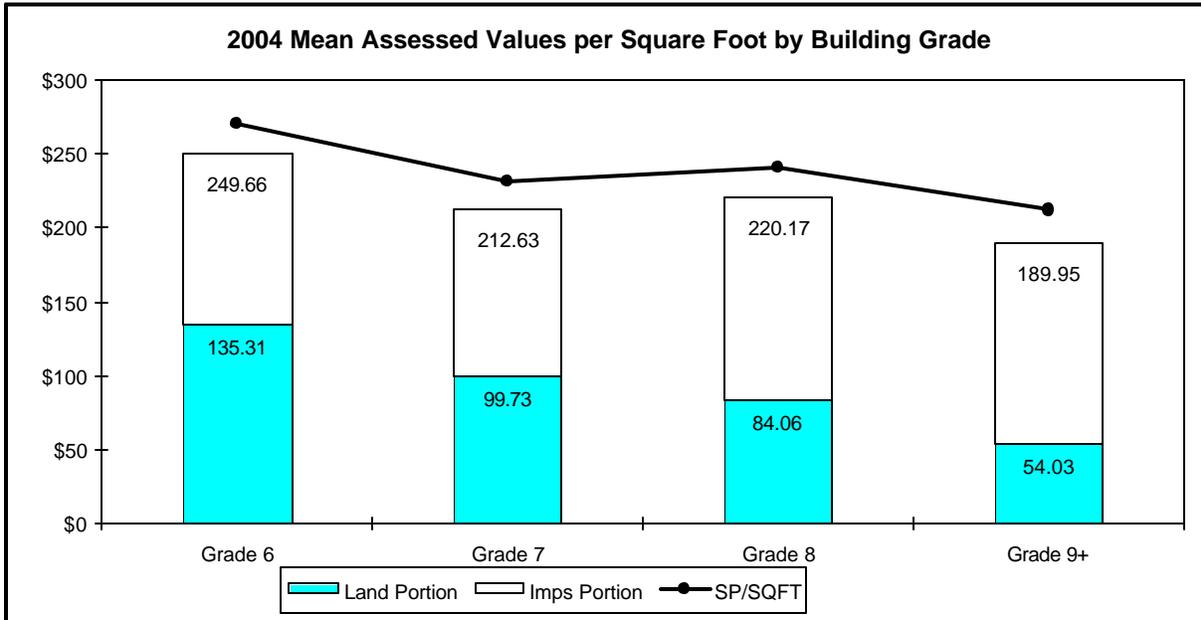
These charts clearly show an improvement in assessment level and uniformity by Year Built/Renovated as a result of applying the 2005 recommended values. The values shown in the improvements portion of the chart represent the value for land and improvements.

Comparison of 2004 and 2005 Per Square Foot Values By Above Grade Living Area

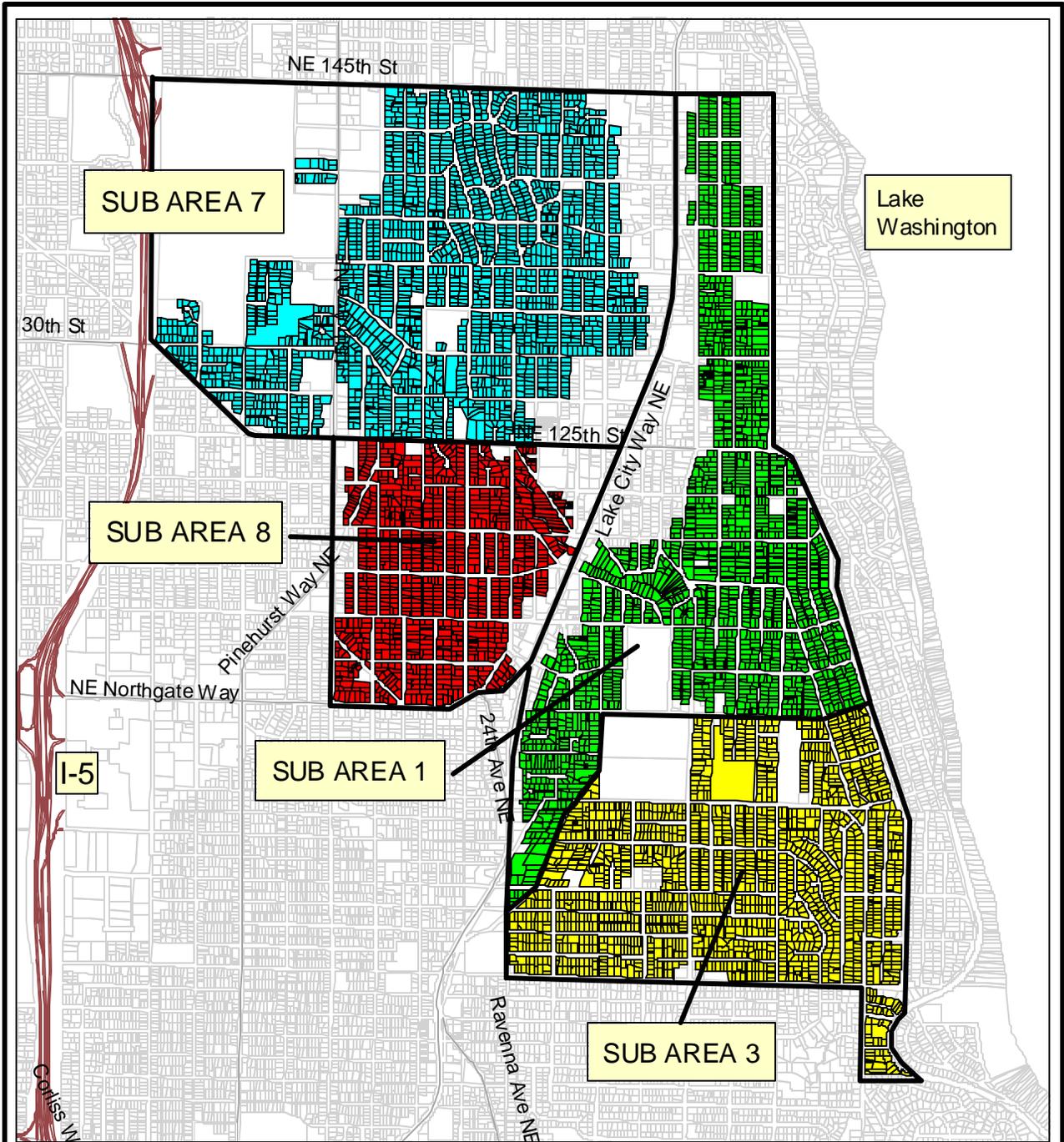


These charts clearly show an improvement in assessment level and uniformity by Above Grade Living Area as a result of applying the 2005 recommended values. The values shown in the improvements portion of the chart represent the value for land and improvements.

Comparison of 2004 and 2005 Per Square Foot Values By Building Grade



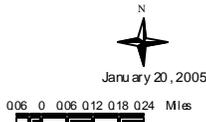
These charts clearly show an improvement in assessment level and uniformity by Building Grade as a result of applying the 2005 recommended values. The values shown in the improvements portion of the chart represent the value for land and improvements.



AREA 8

Sub Areas

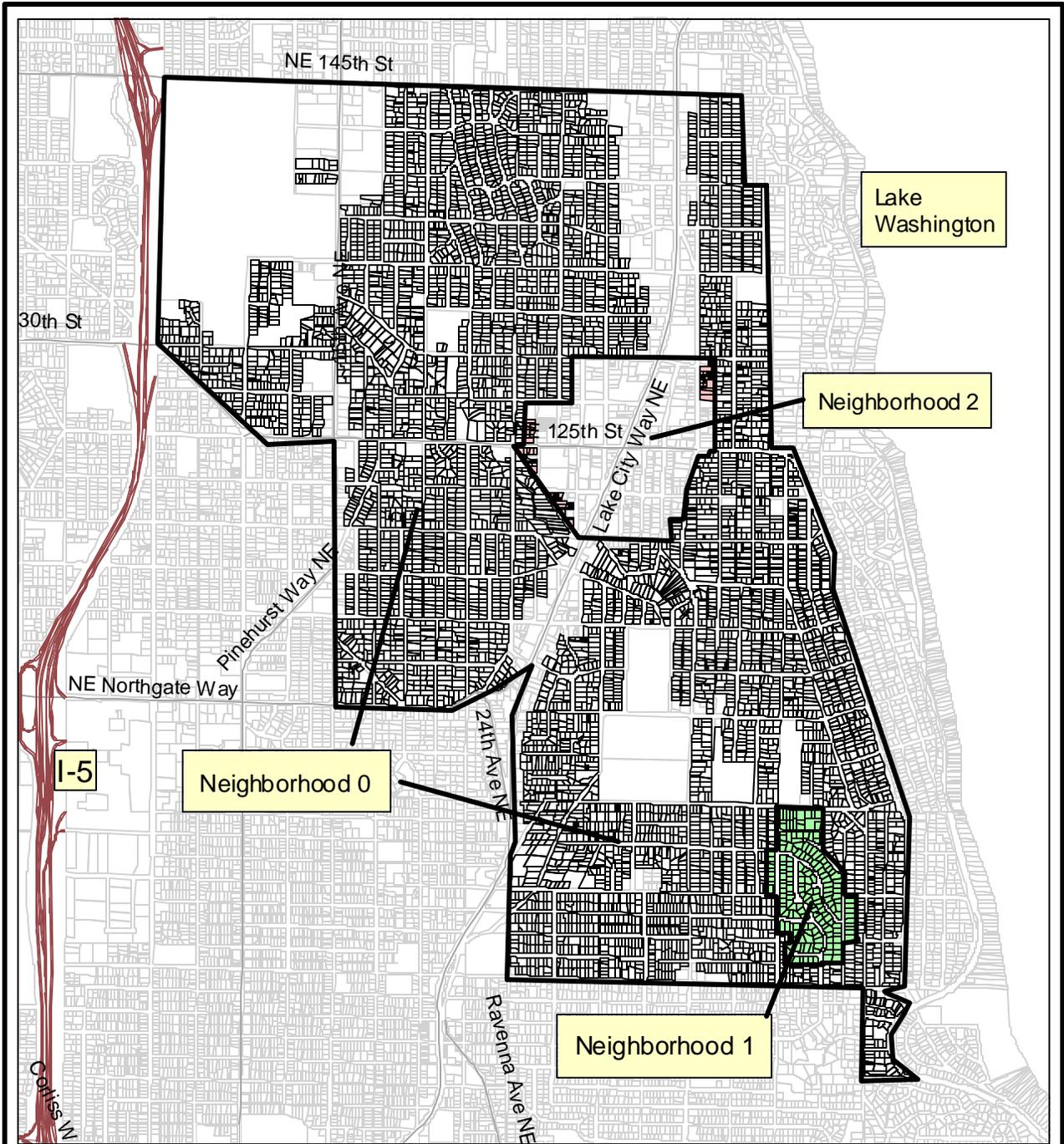
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- Streets, primary
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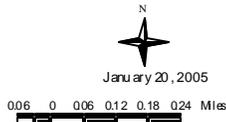


AREA 8

Neighborhoods

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King County
Department of Assessments

Legend

- Free ways
- Streets, primary
- Area map #2.shp
- NH 0
- NH 1
- NH 2

Annual Update Process

Data Utilized

Available sales closed from 1/1/2003 through 12/31/2004 were considered in this analysis. The sales and population data were extracted from the King County Assessor's residential database.

Sales Screening for Improved Parcel Analysis

Improved residential sales removal occurred for parcels meeting the following criteria:

1. Commercially zoned parcels
2. Vacant parcels
3. Mobile home parcels
4. Multi-parcel or multi-building sales
5. New construction where less than a 100% complete house was assessed for 2004
6. Existing residences where the data for 2004 is significantly different than the data for 2005 due to remodeling
7. Parcels with improvements value, but no building characteristics
8. Others as identified in the sales deleted list

See the attached *Improved Sales Used in this Annual Update Analysis* and *Improved Sales Removed from this Annual Update Analysis* at the end of this report for more detailed information.

Land update

There were not enough vacant land sales to derive a market adjustment based only on vacant land sales. Based on the percentage change indicated by the sales sample, a market adjustment for land values was derived. The formula is:

$$\mathbf{2005\ Land\ Value = 2004\ Land\ Value \times 1.089, \text{ with the result rounded down to the next } \$1,000.}$$

Improved Parcel Update

The analysis for this area consisted of a general review of applicable characteristics such as grade, age, condition, stories, living areas, views, waterfront, lot size, land problems and neighborhoods. Upon completion of the initial review, characteristics that indicated an area of possible adjustment were further analyzed using NCSS Statistical Software diagnostic and regression tools in conjunction with Microsoft Excel.

With the exception of real property mobile home parcels & parcels with "accessory only" improvements, the total assessed values on all improved parcels were based on the analysis of the 638 usable residential sales in the area.

The chosen adjustment model was developed using multiple regression. The 2004 assessment ratio (Assessed Value divided by Sale Price) was the dependent variable.

Improved Parcel Update (continued)

The analysis results showed that several characteristic and neighborhood based variables should be included in the update formula in order to improve the uniformity of assessments throughout the area. For instance, homes in Good Condition were at an overall higher assessment level than the rest of the sales sample and were adjusted upward less than others. Homes that had 800 SF or less of Total Living Area were at a much higher assessment level than others and the formula adjusted them slightly downward overall. The formula adjusts for these differences thus improving equalization.

The derived adjustment formula is:

2005 Total Value = 2004 Total Value / (.9183233) + (.02520765 if the home is in Good Condition) + (.0821349 if the Total Living Area is 800 SF or less).

The resulting total value is rounded down to the next \$1,000, *then*:

2005 Improvements Value = 2005 Total Value minus 2005 Land Value

An explanatory adjustment table is included in this report.

Other: *If multiple houses exist on a parcel, the % change indicated by the sales sample is used to arrive at new total value (2005 Total value=2004 Total Value x 1.075)
*If a house and mobile home exist, the formula derived from the house is used to arrive at new total value.
*If “accessory improvements only”, the % change as indicated by the sales sample is used to arrive at a new total value. (2005 Total value=2004 Total Value x 1.075).
*If vacant parcels (no improvement value) only the land adjustment applies.
*If land or improvement values are \$10,000 or less, there is no change from previous value. (Previous Land value * 1.00 Or Previous Improvement value * 1.00)
*If a parcel is coded “non-perc” (sewer system=3), there is no change from previous land value.
*If a parcel is coded sewer system public restricted, or water district private restricted, or water district public restricted, there is no change from previous land value.
*If an improvement is coded “% net condition” or is in “poor” condition, there is no change from previous improvement value (only the land adjustment applies).
*Residential properties located on commercially zoned land will be valued using the overall basic adjustment indicated by the sales sample. (2005 Total value=2004 Total Value x 1.075).

Mobile Home Update

There were no mobile home sales available for a separate analysis. There are only 3 parcels with Mobile Homes. Mobile home parcels will be valued using the % change indicated by the sales sample. The resulting total value is calculated as follows:

2005 Total Value = 2004 Total Value x 1.075.
(2005 Improvements Value = 2005 Total Value minus 2005 Land Value)
with results rounded down to the next \$1,000

Model Validation

Ratio studies of assessments before and after this annual update are included later in this report. “Before and after” comparison graphs appear earlier in this report.

Area 8 Annual Update Model Adjustments

2005 Total Value = 2004 Total Value + Overall +/- Characteristic Adjustments as Apply Below

Due to rounding of the coefficient values used to develop the percentages and further rounding of the percentages in this table, the results you will obtain are an approximation of adjustment achieved in production.

Overall (if no other adjustments apply)	
8.89%	
Good Condition	Yes
% Adjustment	-2.91%
Small Total Living Area <=800 SF	Yes
% Adjustment	-8.94%

Comments

The % adjustments shown are what would be applied in the absence of any other adjustments.

For instance, a home in Good Condition would approximately receive a 5.98% upward adjustment (8.89% - 2.91%). There were 215 sales with 1,591 homes in the population in Good Condition.

Homes with 800 SF or less of Total Living Area would approximately receive a .05% downward adjustment (8.89% - 8.94%). There were 25 sales with 248 homes in the population with 800 SF or less of Total Living Area.

This model corrects for these strata differences.

68.9% of the population of 1 to 3 family parcels in the area are adjusted by the overall alone.

Area 8 Annual Update Ratio Confidence Intervals

These tables represent the percentage changes for specific characteristics.

A 2005 LOWER 95% C.L. greater than the overall weighted mean indicates that assessment levels may be relatively high. A 2005 UPPER 95% C.L. less than the overall weighted mean indicates that assessment levels may be relatively low. The overall 2005 weighted mean is .990.

The confidence interval for the arithmetic mean is used as an estimate for the weighted mean.

It is difficult to draw valid conclusions when the sales count is low.

Bldg Grade	Count	2004 Weighted Mean	2005 Weighted Mean	Percent Change	2005 Lower 95% C.L.	2005 Upper 95% C.L.
5	9	0.917	0.951	3.8%	0.869	1.033
6	133	0.921	0.977	6.1%	0.960	0.994
7	374	0.923	0.994	7.7%	0.984	1.004
8	105	0.919	0.992	7.9%	0.972	1.013
9	16	0.903	0.982	8.8%	0.944	1.020
10	1	0.921	1.002	8.8%	NA	NA
Year Built or Year Renovated	Count	2004 Weighted Mean	2005 Weighted Mean	Percent Change	2005 Lower 95% C.L.	2005 Upper 95% C.L.
<1931	42	0.926	0.986	6.5%	0.953	1.019
1931-1940	57	0.914	0.969	6.1%	0.943	0.995
1941-1950	184	0.927	0.992	7.0%	0.977	1.006
1951-1960	168	0.918	0.987	7.6%	0.972	1.001
1961-1970	43	0.927	0.998	7.6%	0.965	1.030
1971-1980	41	0.923	1.001	8.4%	0.971	1.030
1981-1990	28	0.926	1.004	8.5%	0.966	1.043
1991-2000	40	0.938	1.019	8.7%	0.984	1.054
>2000	35	0.889	0.965	8.6%	0.935	0.995
Condition	Count	2004 Weighted Mean	2005 Weighted Mean	Percent Change	2005 Lower 95% C.L.	2005 Upper 95% C.L.
Average	387	0.911	0.988	8.5%	0.978	0.998
Good	215	0.938	0.990	5.5%	0.978	1.003
Very Good	36	0.930	1.006	8.2%	0.978	1.033
Stories	Count	2004 Weighted Mean	2005 Weighted Mean	Percent Change	2005 Lower 95% C.L.	2005 Upper 95% C.L.
1	478	0.920	0.987	7.3%	0.978	0.996
1.5	81	0.919	0.988	7.5%	0.967	1.010
>=2	79	0.926	1.003	8.3%	0.981	1.025

Area 8 Annual Update Ratio Confidence Intervals

These tables represent the percentage changes for specific characteristics.

A 2005 LOWER 95% C.L. greater than the overall weighted mean indicates that assessment levels may be relatively high. A 2005 UPPER 95% C.L. less than the overall weighted mean indicates that assessment levels may be relatively low. The overall 2005 weighted mean is .990.

The confidence interval for the arithmetic mean is used as an estimate for the weighted mean.

It is difficult to draw valid conclusions when the sales count is low.

Above Grade Living Area	Count	2004 Weighted Mean	2005 Weighted Mean	Percent Change	2005 Lower 95% C.L.	2005 Upper 95% C.L.
<801	44	0.959	0.984	2.6%	0.957	1.012
0801-1000	106	0.902	0.972	7.8%	0.951	0.993
1001-1500	323	0.919	0.991	7.8%	0.980	1.001
1501-2000	112	0.928	0.996	7.4%	0.978	1.014
>2000	53	0.922	1.000	8.4%	0.972	1.027
View Y/N	Count	2004 Weighted Mean	2005 Weighted Mean	Percent Change	2005 Lower 95% C.L.	2005 Upper 95% C.L.
Yes	21	0.950	1.017	7.1%	0.979	1.055
No	617	0.920	0.989	7.5%	0.981	0.997
Wft Y/N	Count	2004 Weighted Mean	2005 Weighted Mean	Percent Change	2005 Lower 95% C.L.	2005 Upper 95% C.L.
Yes	0	NA	NA	NA	NA	NA
No	638	0.921	0.990	7.5%	0.982	0.997
Sub	Count	2004 Weighted Mean	2005 Weighted Mean	Percent Change	2005 Lower 95% C.L.	2005 Upper 95% C.L.
1	189	0.915	0.981	7.2%	0.966	0.996
3	137	0.914	0.984	7.7%	0.967	1.002
7	207	0.927	0.997	7.5%	0.984	1.009
8	105	0.930	1.001	7.6%	0.982	1.019
Lot Size	Count	2004 Weighted Mean	2005 Weighted Mean	Percent Change	2005 Lower 95% C.L.	2005 Upper 95% C.L.
<=5000	36	0.917	0.989	7.9%	0.957	1.022
05001-08000	336	0.923	0.990	7.3%	0.980	1.001
08001-12000	251	0.919	0.989	7.6%	0.977	1.002
>12000	15	0.913	0.988	8.1%	0.937	1.038
Small Total Living Area <=800	Count	2004 Weighted Mean	2005 Weighted Mean	Percent Change	2005 Lower 95% C.L.	2005 Upper 95% C.L.
Yes	25	1.002	0.990	-1.2%	0.952	1.029
No	613	0.918	0.990	7.8%	0.982	0.998

Annual Update Ratio Study Report (Before)

2004 Assessments

District/Team: NE/Team 3	Lien Date: 01/01/2004	Date of Report: 2/22/2005	Sales Dates: 1/2003 - 12/2004
Area Lake City / Area 8	Appr ID: DPAN	Property Type: 1 to 3 Unit Residences	Adjusted for time?: No

SAMPLE STATISTICS	
Sample size (n)	638
Mean Assessed Value	279,500
Mean Sales Price	303,500
Standard Deviation AV	64,388
Standard Deviation SP	75,950

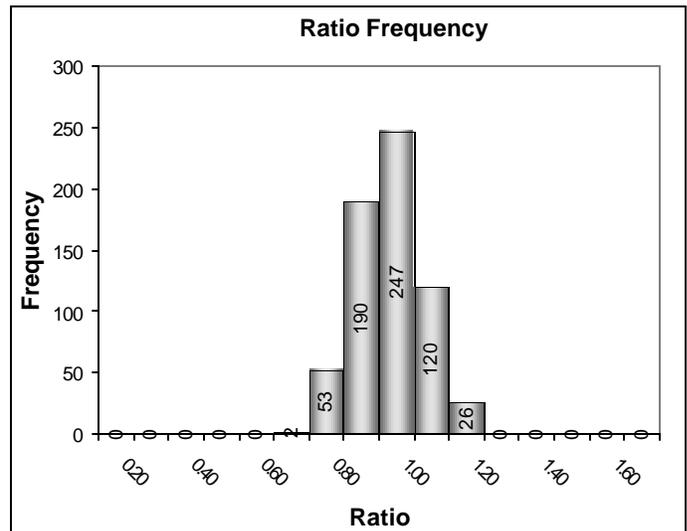
ASSESSMENT LEVEL	
Arithmetic Mean Ratio	0.930
Median Ratio	0.924
Weighted Mean Ratio	0.921

UNIFORMITY	
Lowest ratio	0.689
Highest ratio:	1.171
Coefficient of Dispersion	8.24%
Standard Deviation	0.094
Coefficient of Variation	10.09%
Price Related Differential (PRD)	1.010

RELIABILITY	
95% Confidence: Median	
Lower limit	0.919
Upper limit	0.938
95% Confidence: Mean	
Lower limit	0.923
Upper limit	0.937

SAMPLE SIZE EVALUATION	
N (population size)	6193
B (acceptable error - in decimal)	0.05
S (estimated from this sample)	0.094
Recommended minimum:	14
Actual sample size:	638
Conclusion:	OK

NORMALITY	
Binomial Test	
# ratios below mean:	331
# ratios above mean:	307
z:	0.950
Conclusion:	Normal*
<i>*i.e. no evidence of non-normality</i>	



COMMENTS:

1 to 3 Unit Residences throughout area 8

Annual Update Ratio Study Report (After)

2005 Assessments

District/Team: NE/Team 3	Lien Date: 01/01/2005	Date of Report: 2/22/2005	Sales Dates: 1/2003 - 12/2004
Area Lake City / Area 8	Appr ID: DPAN	Property Type: 1 to 3 Unit Residences	Adjusted for time?: No

SAMPLE STATISTICS	
Sample size (n)	638
Mean Assessed Value	300,400
Mean Sales Price	303,500
Standard Deviation AV	71,015
Standard Deviation SP	75,950

ASSESSMENT LEVEL	
Arithmetic Mean Ratio	0.998
Median Ratio	0.999
Weighted Mean Ratio	0.990

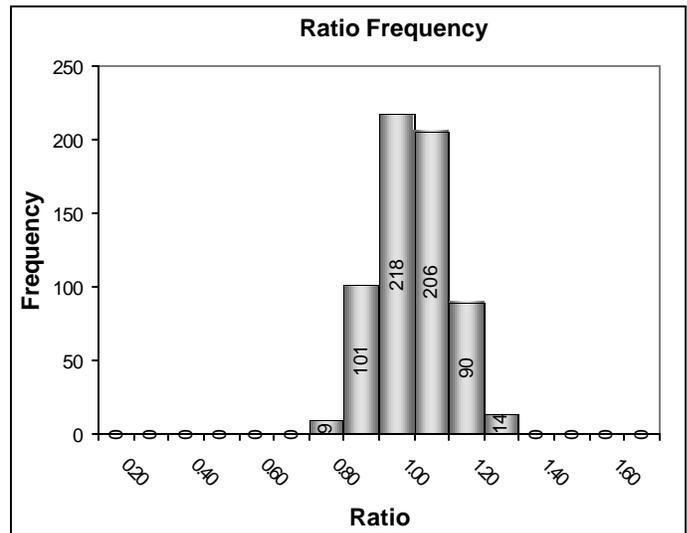
UNIFORMITY	
Lowest ratio	0.748
Highest ratio:	1.247
Coefficient of Dispersion	8.00%
Standard Deviation	0.099
Coefficient of Variation	9.87%
Price Related Differential (PRD)	1.009

RELIABILITY	
95% Confidence: Median	
Lower limit	0.988
Upper limit	1.007
95% Confidence: Mean	
Lower limit	0.991
Upper limit	1.006

SAMPLE SIZE EVALUATION	
N (population size)	6193
B (acceptable error - in decimal)	0.05
S (estimated from this sample)	0.099
Recommended minimum:	16
Actual sample size:	638

Conclusion: OK

NORMALITY	
Binomial Test	
# ratios below mean:	316
# ratios above mean:	322
z:	0.238
Conclusion:	Normal*
<i>*i.e. no evidence of non-normality</i>	



COMMENTS:

1 to 3 Unit Residences throughout area 8

Both assessment level and uniformity have been improved by application of the recommended values.

Glossary for Improved Sales

Condition: Relative to Age and Grade

- | | |
|--------------|---|
| 1= Poor | Many repairs needed. Showing serious deterioration |
| 2= Fair | Some repairs needed immediately. Much deferred maintenance. |
| 3= Average | Depending upon age of improvement; normal amount of upkeep for the age of the home. |
| 4= Good | Condition above the norm for the age of the home. Indicates extra attention and care has been taken to maintain |
| 5= Very Good | Excellent maintenance and updating on home. Not a total renovation. |

Residential Building Grades

- | | |
|--------------|--|
| Grades 1 - 3 | Falls short of minimum building standards. Normally cabin or inferior structure. |
| Grade 4 | Generally older low quality construction. Does not meet code. |
| Grade 5 | Lower construction costs and workmanship. Small, simple design. |
| Grade 6 | Lowest grade currently meeting building codes. Low quality materials, simple designs. |
| Grade 7 | Average grade of construction and design. Commonly seen in plats and older subdivisions. |
| Grade 8 | Just above average in construction and design. Usually better materials in both the exterior and interior finishes. |
| Grade 9 | Better architectural design, with extra exterior and interior design and quality. |
| Grade 10 | Homes of this quality generally have high quality features. Finish work is better, and more design quality is seen in the floor plans and larger square footage. |
| Grade 11 | Custom design and higher quality finish work, with added amenities of solid woods, bathroom fixtures and more luxurious options. |
| Grade 12 | Custom design and excellent builders. All materials are of the highest quality and all conveniences are present. |
| Grade 13 | Generally custom designed and built. Approaching the Mansion level. Large amount of highest quality cabinet work, wood trim and marble; large entries. |

**Improved Sales Used in this Annual Update Analysis
Area 8
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
1	344800	1920	1/13/04	\$215,000	570	0	5	1927	4	7597	N	N	11513 30TH AV NE
1	145410	0059	12/3/04	\$282,500	770	400	5	1932	3	5225	N	N	13017 37TH AV NE
1	399270	0205	2/20/04	\$210,000	960	0	5	1939	4	5715	N	N	11537 39TH AV NE
1	882090	0435	4/12/04	\$289,500	970	0	5	1926	3	10446	N	N	12317 40TH AV NE
1	145410	0061	10/18/04	\$221,400	620	0	6	1928	3	4500	N	N	3546 NE 130TH ST
1	882290	1360	10/11/04	\$200,000	640	0	6	1940	4	6080	N	N	12019 35TH AV NE
1	407780	0531	5/25/04	\$207,000	670	0	6	1951	4	7200	N	N	3616 NE 110TH ST
1	075200	0160	3/2/04	\$214,600	700	0	6	1924	5	6560	N	N	3017 NE 115TH ST
1	344800	1935	6/9/03	\$242,000	700	0	6	1926	4	7738	N	N	11533 30TH AV NE
1	882090	3444	11/20/03	\$219,900	700	0	6	1938	3	7584	N	N	11752 38TH AV NE
1	383400	0780	7/30/04	\$247,500	720	400	6	1949	4	8149	N	N	13528 36TH AV NE
1	882090	3420	2/14/04	\$237,500	720	350	6	1950	3	10446	N	N	11720 38TH AV NE
1	882090	0680	1/21/04	\$189,000	730	0	6	1946	3	5245	N	N	3610 NE 123RD ST
1	882090	1225	5/3/04	\$285,000	740	140	6	1930	4	5246	N	N	3808 NE 120TH ST
1	882090	1470	2/27/04	\$186,000	760	0	6	1952	3	4121	N	N	12022 40TH AV NE
1	075200	0050	11/11/03	\$259,950	770	200	6	1926	4	5280	N	N	11328 30TH AV NE
1	882090	3365	2/27/03	\$184,000	780	0	6	1938	3	10446	N	N	11731 40TH AV NE
1	344800	2110	4/15/04	\$284,950	790	400	6	1948	4	5500	N	N	11516 32ND AV NE
1	882090	2905	2/25/04	\$265,200	790	450	6	1941	4	7733	N	N	11715 SAND PT WY NE
1	882090	3110	7/20/04	\$188,000	800	0	6	1937	3	7733	N	N	11745 BARTLETT AV NE
1	145410	0055	3/1/04	\$207,500	810	0	6	1948	3	4276	N	N	13013 37TH AV NE
1	344800	2105	11/15/04	\$270,000	830	0	6	1954	3	5500	N	N	11524 32ND AV NE
1	882090	3260	1/30/04	\$226,000	830	0	6	1930	3	8242	N	N	11738 40TH AV NE
1	981170	0060	7/2/03	\$254,500	840	0	6	1952	4	6920	N	N	11016 30TH AV NE
1	399270	0550	6/19/03	\$267,500	860	0	6	1933	3	11200	N	N	11515 SAND PT WY NE
1	407780	0426	6/14/04	\$299,000	870	630	6	1937	3	12000	N	N	11050 40TH AV NE
1	882090	0745	3/7/04	\$220,000	890	0	6	1949	3	10445	N	N	12352 36TH AV NE
1	383400	0195	10/7/03	\$220,000	900	0	6	1948	5	4800	N	N	3710 NE 137TH ST
1	383400	0655	12/22/03	\$275,000	900	300	6	1928	3	8768	N	N	3524 NE 135TH ST
1	882090	0720	12/8/04	\$279,000	900	0	6	1942	4	10445	N	N	12324 36TH AV NE

**Improved Sales Used in this Annual Update Analysis
Area 8
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
1	882090	3025	6/26/03	\$199,500	900	0	6	1937	4	7733	N	N	11730 BARTLETT AV NE
1	383400	0280	10/7/04	\$302,000	940	290	6	1951	3	8145	N	N	13751 37TH AV NE
1	399270	0585	10/4/04	\$320,000	940	940	6	1941	3	9360	N	N	11534 BARTLETT AV NE
1	882090	0659	6/22/04	\$262,200	940	0	6	1967	3	5273	N	N	3630 NE 123RD ST
1	282604	9109	9/2/04	\$280,000	950	0	6	1940	4	10550	N	N	2527 NE 107TH ST
1	766370	0262	2/18/04	\$240,000	950	0	6	1946	3	7945	N	N	14311 35TH AV NE
1	766370	0952	2/17/04	\$268,500	950	0	6	1947	4	7945	N	N	14287 35TH AV NE
1	882090	0715	6/16/04	\$230,800	950	150	6	1939	4	7200	N	N	12320 36TH AV NE
1	766370	0943	7/22/03	\$264,000	960	0	6	1947	4	7945	N	N	14291 35TH AV NE
1	882090	0828	7/1/04	\$287,500	960	300	6	1940	3	10640	N	N	12341 36TH AV NE
1	882090	3675	3/16/04	\$279,000	980	0	6	1929	4	10080	N	N	11731 36TH AV NE
1	145410	0247	6/25/04	\$310,000	1020	0	6	1954	4	9480	N	N	12536 37TH AV NE
1	399270	0462	12/2/04	\$332,000	1030	300	6	1946	4	6275	N	N	11514 40TH AV NE
1	399270	0521	1/6/03	\$244,000	1030	0	6	1951	4	6720	N	N	11526 ALTON AV NE
1	344800	2250	1/16/04	\$239,000	1040	0	6	1950	4	6710	N	N	11539 34TH AV NE
1	882090	0753	4/24/03	\$234,950	1050	0	6	1948	4	9063	N	N	3617 NE 125TH ST
1	075200	0135	7/22/03	\$227,500	1060	0	6	1950	3	7920	N	N	11343 31ST AV NE
1	890300	0010	4/16/04	\$265,000	1080	140	6	1943	3	4875	N	N	11355 28TH AV NE
1	399320	0020	10/1/03	\$373,000	1090	500	6	1947	5	6350	N	N	11543 40TH AV NE
1	417710	0075	9/13/04	\$315,000	1100	1100	6	1950	3	7921	N	N	11333 38TH AV NE
1	882090	3425	9/18/03	\$218,000	1100	0	6	1938	4	10446	N	N	11728 38TH AV NE
1	145410	0231	3/20/03	\$190,600	1150	0	6	1986	3	7501	N	N	12556 37TH AV NE
1	882090	1049	2/20/04	\$266,266	1150	0	6	1948	4	7000	N	N	3636 NE 120TH ST
1	145360	2307	6/16/04	\$251,850	1160	270	6	1999	3	1650	N	N	12732 A 35TH AV NE
1	932480	0140	11/16/04	\$275,000	1160	0	6	1929	4	8135	N	N	14020 35TH AV NE
1	981170	0070	10/19/04	\$318,107	1160	300	6	1939	4	7420	N	N	3008 NE 110TH ST
1	882090	0540	1/9/03	\$242,950	1170	0	6	1930	5	5223	N	N	12348 38TH AV NE
1	075100	0160	5/18/03	\$254,000	1180	120	6	1948	3	7740	N	N	11351 35TH AV NE
1	145410	0327	5/29/03	\$259,950	1180	0	6	1948	4	6001	N	N	3737 NE 130TH ST
1	890250	0230	5/24/04	\$259,000	1260	0	6	1920	3	7202	N	N	11037 30TH AV NE
1	145360	2181	8/29/03	\$219,950	1300	380	6	1920	4	6251	N	N	13038 35TH AV NE

**Improved Sales Used in this Annual Update Analysis
Area 8
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
1	407780	0495	4/19/04	\$310,000	1370	0	6	1925	4	10220	N	N	11022 38TH AV NE
1	393590	0350	8/26/04	\$305,000	1650	0	6	1947	4	6480	N	N	3927 NE 115TH ST
1	882090	0686	6/26/03	\$259,950	840	480	7	1981	3	5245	N	N	12308 36TH AV NE
1	407780	0218	7/28/04	\$313,000	850	550	7	1949	3	10480	N	N	11340 ALTON AV NE
1	256830	0156	7/20/04	\$295,000	870	550	7	1953	3	6750	N	N	10337 RAVENNA AV NE
1	407780	0517	10/18/04	\$235,000	910	0	7	1953	3	6720	N	N	11051 40TH AV NE
1	145360	2022	8/17/04	\$235,900	920	0	7	1953	3	7200	N	N	13406 35TH AV NE
1	399270	0632	1/29/04	\$392,000	940	800	7	1949	5	7716	N	N	4105 NE 115TH ST
1	932480	0131	11/9/04	\$234,000	940	0	7	1967	4	7453	N	N	14038 35TH AV NE
1	145410	0052	8/22/03	\$235,000	970	440	7	1982	3	6001	N	N	13029 B 37TH AV NE
1	344800	2300	6/2/04	\$320,000	970	0	7	1952	3	14560	N	N	11725 33RD PL NE
1	882090	2810	3/23/04	\$295,000	1000	0	7	1944	4	8430	N	N	11767 SAND PT WY NE
1	981170	0165	10/30/03	\$215,000	1000	0	7	1959	3	6675	N	N	3023 NE 113TH ST
1	882090	0449	5/21/04	\$252,000	1010	0	7	1990	3	5291	N	N	3830 NE 123RD ST
1	383400	0365	1/21/04	\$290,000	1020	960	7	1944	4	8145	N	N	13740 36TH AV NE
1	514400	0090	6/21/04	\$299,000	1050	0	7	1954	3	6078	N	N	2701 NE 110TH ST
1	145410	0255	10/4/04	\$320,000	1060	580	7	1971	3	5680	N	N	12510 37TH AV NE
1	882090	1065	11/20/03	\$200,000	1060	0	7	1938	4	5446	N	N	3604 NE 120TH ST
1	256830	0281	9/9/03	\$229,500	1070	0	7	1954	3	6600	N	N	10356 FISCHER PL NE
1	882090	0765	7/21/03	\$255,000	1070	0	7	1950	4	5625	N	N	12359 36TH AV NE
1	145410	0411	10/14/04	\$242,000	1080	0	7	1948	3	6501	N	N	3740 NE 130TH ST
1	145360	2283	2/11/03	\$211,000	1090	230	7	1997	3	1462	N	N	12742 B 35TH AV NE
1	145360	2284	3/25/04	\$242,500	1090	230	7	1997	3	2040	N	N	12742 G 35TH AV NE
1	145360	2323	7/22/03	\$247,500	1100	0	7	2000	3	1388	N	N	12726 C 35TH AV NE
1	932480	0150	3/29/04	\$274,500	1100	0	7	1956	4	8139	N	N	14014 35TH AV NE
1	145360	2065	7/13/04	\$290,000	1120	0	7	1938	4	8200	N	N	13226 35TH AV NE
1	882090	3610	3/5/03	\$298,000	1120	400	7	1962	3	10446	N	N	11730 36TH AV NE
1	407780	0435	7/29/04	\$284,000	1130	0	7	1951	3	7800	N	N	4040 NE 110TH ST
1	882090	1475	10/11/04	\$292,000	1130	700	7	1973	3	4121	N	N	12024 40TH AV NE
1	882090	1495	5/5/03	\$249,000	1140	720	7	1987	3	4121	N	N	12040 40TH AV NE
1	399270	0621	10/20/03	\$274,950	1150	0	7	1992	3	6810	N	N	4127 NE 115TH ST

**Improved Sales Used in this Annual Update Analysis
Area 8
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
1	145360	2315	8/19/03	\$234,950	1160	270	7	1999	3	1650	N	N	12736 35TH AV NE
1	145410	0035	1/27/04	\$286,500	1160	550	7	1959	4	8001	N	N	13057 37TH AV NE
1	145410	0101	7/20/04	\$200,000	1160	0	7	1949	3	6126	N	N	3539 NE 130TH ST
1	145410	0162	4/15/03	\$215,000	1160	0	7	1949	4	6135	N	N	3532 NE 125TH ST
1	933840	0015	9/22/04	\$303,060	1160	0	7	1949	3	7680	N	N	11306 ALTON AV NE
1	933840	0025	1/23/03	\$219,950	1160	0	7	1949	5	6600	N	N	4208 NE 113TH ST
1	145410	0291	8/25/03	\$312,000	1170	860	7	1961	4	7900	N	N	12551 39TH AV NE
1	407780	0520	4/17/03	\$285,000	1170	520	7	1958	3	9000	N	N	11027 40TH AV NE
1	311960	0020	11/12/04	\$366,000	1180	870	7	1974	3	7274	N	N	10702 28TH AV NE
1	145360	2265	4/28/04	\$284,822	1200	270	7	2004	3	1507	N	N	3515 C 120TH AV NE
1	145360	2266	4/19/04	\$290,529	1200	280	7	2004	3	1494	N	N	3515 C 120TH AV NE
1	407780	0528	3/12/03	\$285,000	1200	600	7	1974	3	7700	N	N	3828 NE 110TH ST
1	637000	0040	5/21/04	\$331,000	1200	800	7	1959	4	5096	N	N	2560 NE 106TH PL
1	145410	0243	11/7/03	\$270,000	1220	600	7	1968	4	7501	N	N	12540 37TH AV NE
1	393590	0190	1/27/03	\$295,000	1220	620	7	1985	3	7319	N	N	11321 SAND PT WY NE
1	890250	0128	11/3/03	\$290,000	1220	500	7	1958	3	15600	N	N	2620 NE 113TH ST
1	282604	9202	8/30/04	\$275,000	1230	240	7	1937	4	9959	N	N	2535 NE 110TH ST
1	890250	0114	4/6/04	\$344,950	1230	640	7	1991	3	7510	N	N	2712 NE 113TH ST
1	145360	2161	8/11/03	\$248,500	1240	0	7	1941	3	7440	N	N	13032 35TH AV NE
1	890250	0235	7/23/03	\$335,000	1240	820	7	1992	3	7200	N	N	11033 30TH AV NE
1	882090	0754	11/19/03	\$259,950	1250	0	7	1987	5	8389	N	N	12360 36TH AV NE
1	145360	2262	5/27/04	\$291,990	1260	400	7	2004	3	1506	N	N	3515 A 120TH AV NE
1	145360	2264	4/8/04	\$296,157	1260	400	7	2004	3	1494	N	N	3515 B 120TH AV NE
1	145410	0394	7/27/03	\$265,000	1260	0	7	1976	3	10527	N	N	13028 37TH AV NE
1	145410	0032	7/15/03	\$285,000	1280	970	7	1982	3	7208	N	N	13069 37TH AV NE
1	383400	0432	1/6/03	\$263,500	1280	0	7	1990	3	7200	N	N	3510 NE 137TH ST
1	637000	0045	3/31/04	\$200,000	1280	0	7	1955	3	6870	N	N	10524 27TH AV NE
1	399270	0022	12/22/04	\$260,000	1290	800	7	1968	3	6350	N	N	11515 36TH AV NE
1	932480	0250	11/11/04	\$250,000	1290	0	7	1955	3	8139	N	N	14014 36TH AV NE
1	981170	0138	6/9/04	\$259,000	1300	0	7	1966	4	6250	N	N	11039 31ST AV NE
1	145360	2200	11/1/04	\$295,000	1310	850	7	1941	3	7280	N	N	13018 35TH AV NE

**Improved Sales Used in this Annual Update Analysis
Area 8
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
1	882090	1226	9/3/04	\$295,000	1330	0	7	1959	4	5200	N	N	12002 38TH AV NE
1	882090	3290	12/8/03	\$230,000	1330	0	7	1937	4	6873	N	N	4007 NE 120TH ST
1	890300	0026	9/17/04	\$320,000	1350	440	7	1960	3	7453	N	N	11329 28TH AV NE
1	145360	2287	11/10/04	\$289,950	1380	420	7	1997	3	2174	N	N	12742 C 35TH AV NE
1	282604	9267	5/8/03	\$294,000	1380	910	7	1995	3	6961	N	N	2559 NE 107TH ST
1	981170	0035	7/27/04	\$380,000	1380	700	7	1964	4	8602	N	N	11032 30TH AV NE
1	145410	0408	9/10/03	\$294,950	1410	1180	7	1987	3	5001	N	N	3726 NE 130TH ST
1	256830	0205	3/14/03	\$330,000	1410	780	7	1972	3	13754	N	N	10011 RAVENNA AV NE
1	890250	0253	6/13/03	\$277,000	1410	0	7	1949	4	7996	N	N	2820 NE 110TH ST
1	383400	0650	10/5/04	\$318,000	1430	540	7	1956	3	8149	N	N	13511 36TH AV NE
1	932480	0160	1/8/03	\$275,000	1440	0	7	1987	4	8143	N	N	3512 NE 140TH ST
1	075100	0125	11/18/04	\$340,000	1450	1600	7	1987	3	7740	N	N	11326 34TH AV NE
1	882090	3402	1/28/04	\$262,000	1450	0	7	1953	3	10619	N	N	3902 NE 117TH ST
1	407780	0451	12/8/04	\$361,000	1470	1200	7	1948	4	5737	N	N	4020 NE 113TH ST
1	145410	0313	8/20/03	\$342,000	1480	770	7	1993	3	9200	N	N	12735 B 39TH AV NE
1	407780	0445	5/6/03	\$305,000	1490	0	7	1958	5	11840	N	N	11028 40TH AV NE
1	145410	0262	11/30/04	\$290,000	1500	0	7	1948	4	6359	N	N	3712 NE 125TH ST
1	344800	2025	10/23/03	\$340,000	1510	480	7	1946	4	5855	N	N	3015 NE 117TH ST
1	407780	0589	4/14/03	\$252,000	1510	0	7	1962	4	9211	N	N	3512 NE 113TH ST
1	399270	0141	1/28/03	\$268,000	1520	0	7	1952	4	8100	N	N	11532 36TH AV NE
1	407780	0544	7/23/04	\$330,000	1540	0	7	1940	4	11376	N	N	11020 35TH AV NE
1	882090	3070	11/16/04	\$310,000	1550	0	7	1950	4	5411	N	N	11744 BARTLETT AV NE
1	882090	3070	1/28/03	\$250,000	1550	0	7	1950	4	5411	N	N	11744 BARTLETT AV NE
1	145360	2322	8/26/03	\$290,700	1590	0	7	2000	4	2173	N	N	12724 35TH AV NE
1	145410	0286	10/26/04	\$425,000	1620	1380	7	1961	4	14902	N	N	12543 39TH AV NE
1	145410	0392	3/28/03	\$286,000	1620	1160	7	1963	3	8501	N	N	13038 37TH AV NE
1	344800	0821	4/29/03	\$239,500	1620	0	7	1980	3	5331	N	N	11832 31ST PL NE
1	383400	0400	11/20/03	\$249,900	1630	0	7	1952	4	8146	N	N	13733 36TH AV NE
1	715620	0010	3/31/04	\$309,500	1640	0	7	1954	3	6509	N	N	2539 NE 105TH PL
1	145410	0376	2/24/04	\$282,500	1650	430	7	1971	3	6281	N	N	13202 37TH AV NE
1	344800	0870	4/8/03	\$235,000	1650	0	7	1979	3	8800	N	N	11825 32ND AV NE

**Improved Sales Used in this Annual Update Analysis
Area 8
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
1	383400	0611	10/15/03	\$278,257	1680	0	7	1952	4	6000	N	N	3523 NE 137TH ST
1	932480	0215	1/14/03	\$325,000	1680	0	7	1928	4	8743	N	N	3605 NE 143RD ST
1	145360	2000	10/19/04	\$370,000	1700	1260	7	1975	3	8588	N	N	3505 NE 135TH ST
1	407780	0455	5/20/04	\$350,000	1700	500	7	1947	4	10401	N	N	11318 40TH AV NE
1	145410	0395	12/3/03	\$250,000	1720	0	7	1959	3	9451	N	N	13024 37TH AV NE
1	890250	0120	5/21/04	\$348,950	1740	0	7	1986	4	10960	N	N	2630 NE 113TH ST
1	282604	9126	11/2/04	\$325,000	1760	630	7	1949	3	7280	N	N	2527 NE 110TH ST
1	145410	0112	9/25/04	\$350,000	1850	600	7	1976	4	7220	N	N	12720 35TH AV NE
1	075200	0035	8/11/04	\$325,000	1950	0	7	1947	3	15880	N	N	11336 30TH AV NE
1	399270	0415	1/13/04	\$339,000	1950	0	7	1995	3	5715	N	N	11534 39TH AV NE
1	407780	0267	3/18/03	\$267,500	2010	0	7	1942	4	8340	N	N	11016 ALTON AV NE
1	383400	0145	5/13/04	\$305,000	2020	0	7	1946	4	8145	N	N	13751 39TH AV NE
1	882090	3625	6/9/04	\$330,000	2020	0	7	1928	5	10446	N	N	11750 36TH AV NE
1	344800	0690	4/19/03	\$239,000	2100	0	7	1950	3	8675	N	N	11731 35TH AV NE
1	344800	1005	4/14/04	\$310,000	2150	0	7	1963	4	9652	N	N	3008 NE 117TH ST
1	282604	9209	8/9/04	\$375,000	2220	0	7	1999	3	7470	N	N	2523 NE 110TH ST
1	890300	0063	3/19/03	\$287,000	2370	0	7	1999	3	7225	N	N	11346 28TH AV NE
1	156610	0086	11/14/03	\$321,000	620	620	8	1949	5	5832	N	N	9805 RAVENNA AV NE
1	344800	0725	5/21/03	\$338,000	1290	900	8	1926	5	7700	N	N	11830 32ND AV NE
1	282604	9170	12/10/03	\$360,000	1360	450	8	1954	5	16515	N	N	2801 NE 110TH ST
1	383400	0462	7/10/03	\$297,450	1420	450	8	1990	3	7203	N	N	13746 35TH AV NE
1	882090	0920	9/3/03	\$375,000	1430	840	8	1978	5	7323	N	N	3525 NE 123RD ST
1	145410	0023	4/15/04	\$385,000	1460	880	8	2004	3	7208	N	N	13228 35TH AV NE
1	145410	0021	4/22/03	\$325,000	1530	750	8	1976	3	7209	N	N	13230 35TH AV NE
1	145410	0145	8/25/04	\$393,000	1540	0	8	1967	3	9601	N	N	12533 37TH AV NE
1	882090	0942	2/12/03	\$320,000	1660	0	8	1987	3	10400	N	N	12047 A 36TH AV NE
1	145410	0154	11/13/04	\$347,500	1910	0	8	1978	3	14501	N	N	12511 37TH AV NE
1	407780	0281	3/20/03	\$440,000	2070	0	8	2001	4	7200	N	N	11054 BARTLETT AV NE
1	407780	0246	3/11/03	\$409,000	2240	700	8	1988	3	7519	N	N	4214 NE 110TH ST
1	344800	0865	3/29/04	\$415,000	2300	0	8	1996	3	6600	N	N	11821 32ND AV NE
1	383400	0350	5/21/04	\$520,000	2520	0	8	2001	3	12219	N	N	12372 36TH AV NE

**Improved Sales Used in this Annual Update Analysis
Area 8
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
1	932480	0220	2/24/04	\$432,500	1590	0	9	2003	3	8127	N	N	14048 36TH AV NE
1	407780	0269	3/21/03	\$520,000	2850	0	9	2003	3	7373	N	N	11041 BARTLETT AV NE
1	407780	0270	5/27/03	\$525,000	2850	0	9	2003	3	7373	N	N	11035 BARTLETT AV NE
1	344800	2122	8/5/03	\$520,000	2950	0	9	2003	3	4924	N	N	3208 NE 115TH ST
3	945520	0170	5/15/03	\$205,000	700	0	6	1946	4	7800	N	N	10337 38TH AV NE
3	256880	0281	4/28/03	\$286,000	720	430	6	1945	4	6019	Y	N	3041 NE 103RD ST
3	945520	0780	5/23/03	\$219,000	730	0	6	1948	4	7800	N	N	10047 36TH AV NE
3	521020	0072	11/19/03	\$234,000	770	0	6	1923	5	7200	N	N	4018 NE 95TH ST
3	407380	0355	11/30/04	\$218,000	820	0	6	1948	4	6600	N	N	10008 45TH AV NE
3	945520	0497	8/2/04	\$221,000	830	0	6	1945	3	7800	N	N	10056 38TH AV NE
3	342604	9124	1/14/04	\$201,000	840	180	6	1914	3	8367	N	N	3556 NE 95TH ST
3	407320	0095	4/28/04	\$250,000	960	0	6	1949	4	7200	N	N	9743 SAND PT WY NE
3	054300	0035	12/2/03	\$282,500	990	0	6	1947	3	6333	N	N	9520 40TH AV NE
3	054300	0040	9/18/03	\$278,000	990	0	6	1947	4	6277	N	N	9512 40TH AV NE
3	955320	0215	5/26/04	\$313,250	1000	0	6	1930	3	6357	N	N	9538 32ND AV NE
3	156610	0750	8/19/04	\$332,000	1040	0	6	1941	4	8287	N	N	2750 NE 98TH ST
3	407320	0010	11/17/03	\$270,000	1060	0	6	1915	5	3600	N	N	4607 NE 97TH ST
3	945520	0634	11/19/03	\$285,000	1100	0	6	1948	4	8900	N	N	10004 36TH AV NE
3	407430	0165	4/16/03	\$299,950	1150	0	6	1942	4	7200	N	N	9733 46TH AV NE
3	945520	0255	3/25/04	\$335,000	1150	0	6	1958	3	7800	N	N	10319 39TH AV NE
3	407320	0131	10/19/04	\$375,000	1180	0	6	1925	3	9776	N	N	4614 NE 97TH ST
3	955320	0073	2/4/04	\$225,000	1340	0	6	1989	3	5729	N	N	9507 32ND AV NE
3	272604	9090	7/22/04	\$275,000	1440	0	6	1951	3	7200	N	N	10516 35TH AV NE
3	955320	0066	2/2/04	\$262,500	1470	0	6	1924	5	5785	N	N	3202 NE 95TH ST
3	955320	0170	5/5/03	\$284,500	790	790	7	1939	4	8469	N	N	3052 NE 96TH ST
3	332604	9072	8/12/03	\$292,500	800	500	7	1951	4	6822	Y	N	3027 NE 100TH ST
3	955320	0230	7/13/04	\$305,500	860	0	7	1940	3	5628	N	N	3207 NE 97TH ST
3	256880	0100	9/27/04	\$317,500	890	0	7	1950	3	8974	N	N	3247 NE 105TH ST
3	633500	0040	10/24/03	\$296,600	900	410	7	1951	4	8144	N	N	10540 41ST PL NE
3	256880	0285	5/2/03	\$305,100	920	0	7	1941	5	7020	N	N	10041 32ND AV NE
3	864750	0005	9/27/04	\$340,000	920	140	7	1941	4	7383	N	N	3213 NE 100TH ST

**Improved Sales Used in this Annual Update Analysis
Area 8
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
3	156610	0250	11/23/04	\$228,000	960	0	7	1952	3	8313	N	N	2552 NE 96TH ST
3	156610	0325	7/7/04	\$324,000	970	740	7	1934	3	10443	N	N	2539 NE 96TH ST
3	521020	0108	6/10/03	\$269,950	1010	0	7	1922	4	10000	Y	N	4204 NE 95TH ST
3	955420	0065	6/24/03	\$305,000	1010	240	7	1939	4	6787	N	N	3224 NE 97TH ST
3	156610	0480	8/25/04	\$310,000	1020	810	7	1952	4	8359	N	N	2714 NE 95TH ST
3	156610	0590	11/24/04	\$334,000	1020	200	7	1952	3	8320	N	N	2702 NE 96TH ST
3	167540	0075	6/6/03	\$291,500	1020	520	7	1949	4	9450	N	N	9526 44TH AV NE
3	156610	0425	12/15/04	\$301,000	1030	0	7	1952	4	8343	N	N	2739 NE 96TH ST
3	156610	0445	10/12/04	\$280,000	1030	0	7	1951	3	6658	N	N	2756 NE 95TH ST
3	945520	0115	5/3/04	\$375,000	1050	940	7	1937	5	7800	N	N	10329 38TH AV NE
3	256830	0132	5/28/03	\$277,000	1060	810	7	1926	4	10910	N	N	2751 NE 103RD ST
3	945520	0290	10/7/03	\$303,000	1110	0	7	1928	4	7800	N	N	3901 NE 105TH ST
3	407430	0275	3/22/04	\$311,000	1120	780	7	1958	3	7210	N	N	9518 45TH AV NE
3	955320	0120	9/3/04	\$342,000	1120	800	7	1956	4	5000	N	N	9526 30TH AV NE
3	156610	0435	12/1/03	\$247,800	1140	0	7	1952	3	8348	N	N	2751 NE 96TH ST
3	407780	0364	4/6/04	\$330,000	1160	600	7	1975	3	6000	N	N	4522 NE 106TH ST
3	800150	0005	12/21/04	\$355,000	1160	820	7	1957	3	7080	N	N	10642 ALTON PL NE
3	955420	0085	9/23/04	\$313,500	1160	0	7	1938	3	6786	N	N	3204 NE 97TH ST
3	262960	0030	4/21/04	\$325,000	1170	0	7	1947	5	6042	N	N	9515 40TH AV NE
3	156610	0470	4/4/03	\$259,000	1180	700	7	1948	4	9597	N	N	2726 NE 95TH ST
3	332604	9065	11/9/04	\$342,000	1180	460	7	1951	3	7202	N	N	3014 NE 98TH ST
3	520820	0161	9/8/03	\$315,000	1200	500	7	1960	3	8098	N	N	9737 45TH AV NE
3	520820	0163	3/15/04	\$375,000	1200	420	7	1959	4	8098	N	N	9731 45TH AV NE
3	945520	0705	5/15/03	\$270,000	1200	1200	7	1955	3	7800	N	N	10046 35TH AV NE
3	945520	0765	3/20/04	\$289,950	1200	0	7	1948	3	7800	N	N	10029 36TH AV NE
3	256880	0101	8/20/04	\$292,000	1220	0	7	1950	3	8974	N	N	3241 NE 105TH ST
3	272604	9190	4/27/03	\$345,000	1220	540	7	1987	3	7851	N	N	10708 38TH AV NE
3	256880	0053	8/20/03	\$379,000	1230	560	7	1985	3	6268	Y	N	10355 32ND AV NE
3	342604	9106	10/18/04	\$375,000	1230	420	7	1958	3	8222	Y	N	3521 NE 96TH ST
3	256830	0042	4/10/03	\$277,500	1260	710	7	1979	3	7384	N	N	2740 A NE 103RD ST
3	272604	9176	6/30/03	\$339,950	1260	600	7	1974	3	8769	N	N	10550 A 39TH AV NE

**Improved Sales Used in this Annual Update Analysis
Area 8
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
3	167540	0002	1/3/03	\$355,000	1270	500	7	1986	3	7221	N	N	9559 45TH AV NE
3	633500	0020	10/13/04	\$314,425	1270	0	7	1992	3	8155	N	N	10521 41ST PL NE
3	156610	0475	6/30/04	\$348,000	1280	820	7	1992	3	7201	N	N	2720 NE 95TH ST
3	272604	9097	11/23/04	\$379,500	1300	0	7	1949	4	8926	N	N	10725 39TH AV NE
3	945520	0175	9/22/04	\$368,220	1310	250	7	1987	3	7800	N	N	10343 38TH AV NE
3	945520	0520	2/22/03	\$381,950	1310	1280	7	1972	5	7800	N	N	10026 38TH AV NE
3	256880	0131	2/11/03	\$345,000	1320	620	7	1956	4	6000	Y	N	3201 NE 105TH ST
3	272604	9063	6/21/04	\$357,000	1350	770	7	1974	3	15590	N	N	10544 39TH AV NE
3	540810	0015	2/25/03	\$300,000	1350	1100	7	1953	3	6200	N	N	10015 31ST AV NE
3	407780	0304	11/9/04	\$300,000	1360	0	7	1952	3	7680	N	N	10745 BARTLETT AV NE
3	945520	0770	4/13/04	\$279,000	1390	0	7	1948	3	7800	N	N	10035 36TH AV NE
3	256830	0134	3/20/03	\$285,000	1410	560	7	1959	3	9856	N	N	10045 29TH AV NE
3	407780	0402	11/6/03	\$303,000	1440	200	7	1963	3	8470	N	N	10529 ALTON AV NE
3	407780	0309	6/16/03	\$260,000	1460	0	7	1947	4	9900	N	N	10717 SAND PT WY NE
3	342604	9075	5/15/03	\$318,000	1500	310	7	1951	4	8215	N	N	3545 NE 96TH ST
3	256880	0121	10/21/03	\$330,000	1540	0	7	1950	4	8311	Y	N	3215 NE 105TH ST
3	800150	0036	9/5/03	\$426,000	1550	400	7	1957	4	10642	Y	N	10605 ALTON PL NE
3	156610	0225	8/6/04	\$349,000	1560	0	7	1961	4	8296	N	N	2539 NE 97TH ST
3	156610	0105	10/23/03	\$308,950	1570	0	7	1950	4	8258	N	N	2515 NE 98TH ST
3	272604	9134	11/22/04	\$334,950	1590	0	7	1962	3	9956	N	N	10571 40TH AV NE
3	272604	9165	5/23/03	\$324,950	1610	0	7	1969	3	8235	N	N	10703 38TH AV NE
3	156610	0420	3/6/03	\$380,000	1630	0	7	1934	5	8340	N	N	2731 NE 96TH ST
3	272604	9133	3/4/03	\$310,000	1650	0	7	1955	4	8710	N	N	3521 NE 110TH ST
3	332604	9071	4/26/04	\$325,000	1670	0	7	1952	3	9960	N	N	3021 NE 100TH ST
3	407780	0363	9/4/03	\$344,950	1740	500	7	1924	5	8580	N	N	10652 BARTLETT AV NE
3	272604	9040	11/20/03	\$314,999	1750	0	7	1967	3	11157	N	N	10552 39TH AV NE
3	945520	0775	6/19/03	\$334,000	2110	0	7	1996	3	7800	Y	N	10041 36TH AV NE
3	521020	0006	10/15/03	\$370,800	2420	0	7	1957	3	9533	N	N	10423 42ND AV NE
3	342604	9166	6/14/04	\$359,000	1100	500	8	1957	3	6000	N	N	3538 NE 96TH ST
3	256880	0323	3/26/04	\$340,500	1160	0	8	1975	3	9522	N	N	3002 NE 100TH ST
3	945520	0575	10/21/03	\$335,000	1180	520	8	1971	4	7280	N	N	10041 39TH AV NE

**Improved Sales Used in this Annual Update Analysis
Area 8
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
3	256880	0191	10/20/04	\$379,000	1230	890	8	1957	3	7089	N	N	10303 35TH AV NE
3	955320	0210	6/20/03	\$324,500	1240	310	8	1946	4	5635	Y	N	3203 NE 97TH ST
3	541820	0325	6/8/04	\$409,000	1250	440	8	1959	3	9358	N	N	10327 45TH AV NE
3	256880	0173	9/16/03	\$379,500	1320	820	8	1959	4	7440	N	N	3247 NE 104TH ST
3	945520	0445	1/17/03	\$385,000	1330	0	8	2002	3	6743	N	N	3914 NE 100TH ST
3	013000	0075	4/29/04	\$400,000	1370	350	8	1957	3	8215	N	N	3532 NE 98TH ST
3	256880	0142	1/13/03	\$310,000	1390	450	8	1948	4	7750	Y	N	3210 NE 103RD ST
3	013000	0085	3/23/04	\$439,000	1410	750	8	1957	3	8218	N	N	3520 NE 98TH ST
3	541820	0350	7/8/03	\$425,000	1440	580	8	1961	3	9450	N	N	10051 45TH AV NE
3	945520	0499	9/1/04	\$489,000	1440	1210	8	1982	3	7020	N	N	10046 38TH AV NE
3	342604	9154	3/17/04	\$425,000	1450	1170	8	1955	3	8359	N	N	3826 NE 96TH ST
3	541820	0305	6/28/04	\$432,000	1460	570	8	1961	4	8126	N	N	10344 44TH AV NE
3	407430	0200	10/8/03	\$336,200	1490	620	8	1954	4	6600	N	N	9753 46TH AV NE
3	541850	0790	5/7/03	\$394,000	1490	610	8	1965	3	9100	Y	N	4026 NE 98TH ST
3	256830	0011	12/29/03	\$379,000	1500	470	8	1955	4	7200	N	N	2831 NE 105TH ST
3	256830	0085	4/22/04	\$395,100	1520	1090	8	1980	3	10663	N	N	10040 RAVENNA AV NE
3	541850	0590	9/17/04	\$499,950	1540	550	8	1972	3	9619	N	N	9632 42ND AV NE
3	256880	0220	12/14/04	\$375,000	1580	0	8	1976	3	7500	Y	N	3231 NE 103RD ST
3	407380	0170	6/16/04	\$438,000	1590	400	8	1958	4	6660	N	N	10300 45TH AV NE
3	541820	0140	7/2/03	\$435,000	1600	1050	8	1960	5	9209	N	N	4202 NE 103RD PL
3	541850	0270	8/26/04	\$440,000	1610	240	8	1978	3	8844	N	N	9701 44TH AV NE
3	541820	0150	4/8/03	\$359,950	1620	0	8	1960	4	10268	N	N	10308 42ND AV NE
3	541820	0385	3/13/03	\$345,000	1620	0	8	1961	3	9364	N	N	10001 45TH AV NE
3	541820	0340	1/20/03	\$359,000	1660	920	8	1959	4	9450	N	N	10301 45TH AV NE
3	858240	0050	5/6/04	\$490,000	1660	840	8	1958	3	8882	N	N	3855 NE 98TH ST
3	521020	0080	1/6/03	\$370,000	1710	1500	8	1940	4	7770	N	N	4032 NE 95TH ST
3	013000	0215	11/4/04	\$430,000	1740	980	8	1959	3	8160	N	N	3515 NE 98TH ST
3	521020	0070	5/23/03	\$390,000	1770	130	8	1971	4	7200	N	N	4022 NE 95TH ST
3	156610	0620	8/23/04	\$425,000	1790	200	8	1978	3	8294	N	N	2731 NE 98TH ST
3	541850	0850	7/18/03	\$440,000	1810	820	8	1967	4	7350	N	N	9830 40TH AV NE
3	407380	0133	7/14/04	\$340,000	1820	390	8	1995	3	3600	N	N	10311 46TH AV NE

**Improved Sales Used in this Annual Update Analysis
Area 8
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
3	407380	0140	5/24/04	\$335,000	1820	390	8	1995	3	3600	N	N	10305 46TH AV NE
3	407320	0206	12/3/03	\$427,000	1850	760	8	1978	3	7200	N	N	10340 46TH AV NE
3	541820	0050	1/14/04	\$447,000	1900	0	8	1960	4	12101	N	N	4101 NE 103RD PL
3	945520	0370	4/20/04	\$475,000	1900	600	8	1976	3	7870	N	N	10333 40TH AV NE
3	407780	0372	8/26/03	\$412,000	2120	0	8	1998	3	7200	Y	N	10625 SAND PT WY NE
3	272604	9050	2/13/04	\$665,000	3180	0	8	2003	3	11250	N	N	4039 NE 110TH ST
3	521020	0004	5/17/04	\$769,000	3230	0	8	1959	5	9533	N	N	4101 NE 105TH ST
3	541850	0380	3/25/03	\$450,000	1820	420	9	1969	3	7909	N	N	9853 43RD PL NE
3	521020	0074	8/12/04	\$479,950	1890	0	9	2001	3	7200	N	N	4020 NE 95TH ST
3	520820	0270	7/10/04	\$459,000	1940	550	9	1978	3	7416	N	N	9704 40TH AV NE
3	256880	0262	3/4/03	\$387,500	1960	0	9	1987	3	10294	N	N	3264 NE 100TH ST
3	521020	0061	6/19/03	\$475,000	2210	0	9	1999	3	7200	N	N	4016 NE 95TH ST
3	256830	0138	8/16/04	\$630,000	2830	0	9	2004	3	7472	N	N	2743 NE 103RD ST
3	256830	0130	7/16/04	\$615,000	3040	0	9	2004	3	7473	N	N	2743 A NE 103RD ST
3	256830	0137	3/12/04	\$608,000	3040	0	9	2004	3	7472	N	N	2743 B NE 103RD ST
3	520920	0056	6/4/03	\$605,000	3060	0	9	1969	5	7200	N	N	10402 40TH AV NE
3	156610	0705	6/16/03	\$593,100	3430	0	9	2000	3	8257	N	N	2717 NE 100TH ST
7	766370	0461	4/29/04	\$224,500	660	310	5	1949	4	7020	N	N	2721 NE 145TH ST
7	766370	0562	8/11/03	\$210,000	710	0	5	1942	5	7219	N	N	14324 25TH AV NE
7	145360	0081	11/17/03	\$248,500	1420	0	5	1949	3	8800	N	N	13312 31ST AV NE
7	638150	0435	7/17/03	\$292,000	720	580	6	1944	5	7506	N	N	14040 24TH AV NE
7	638150	0475	12/23/03	\$236,000	720	360	6	1944	4	6936	N	N	14041 25TH AV NE
7	638150	0265	5/13/04	\$249,950	740	0	6	1944	3	6757	N	N	14327 24TH AV NE
7	638150	0695	5/17/04	\$224,000	750	0	6	1944	4	7085	N	N	14074 22ND AV NE
7	638150	0555	9/22/03	\$245,000	760	0	6	1944	4	7075	N	N	14032 23RD PL NE
7	638150	1945	8/4/04	\$240,000	770	0	6	1940	3	7308	N	N	13550 22ND AV NE
7	638150	1945	11/3/03	\$219,000	770	0	6	1940	3	7308	N	N	13550 22ND AV NE
7	641410	0723	1/29/03	\$191,300	780	0	6	1950	3	6006	N	N	12732 ROOSEVELT WY
7	766370	0571	11/3/04	\$208,000	820	0	6	1953	3	6619	N	N	14315 26TH AV NE
7	227150	0040	7/9/04	\$274,500	840	0	6	1948	3	8426	N	N	1025 NE 133RD ST
7	638150	1520	4/25/03	\$204,000	860	0	6	1949	3	5000	N	N	2608 NE 137TH ST

**Improved Sales Used in this Annual Update Analysis
Area 8
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
7	638150	1720	12/13/04	\$231,000	860	0	6	1947	3	4260	N	N	2512 NE 136TH ST
7	766370	0560	7/29/03	\$195,000	860	0	6	1953	4	6513	N	N	14327 26TH AV NE
7	638150	0550	7/14/03	\$225,000	880	0	6	1944	4	7075	N	N	14036 23RD PL NE
7	145360	0242	8/10/04	\$281,500	920	920	6	1915	5	7266	N	N	3105 NE 133RD ST
7	145360	0242	5/15/03	\$275,000	920	920	6	1915	5	7266	N	N	3105 NE 133RD ST
7	638150	1940	3/14/03	\$199,950	930	0	6	1949	4	7960	N	N	13554 22ND AV NE
7	382220	0062	11/18/03	\$224,000	950	0	6	1951	3	7702	N	N	13351 30TH AV NE
7	638150	1035	8/18/04	\$299,500	950	930	6	1947	3	7199	N	N	13729 22ND AV NE
7	638150	0895	8/21/03	\$236,000	960	0	6	1949	3	9600	N	N	14016 20TH AV NE
7	638150	0440	7/23/03	\$276,000	1010	200	6	1944	4	7820	N	N	14034 24TH AV NE
7	113300	0163	5/14/04	\$245,500	1030	300	6	1940	3	9500	N	N	12525 19TH AV NE
7	638150	0175	3/26/04	\$270,500	1060	0	6	1936	4	7643	N	N	14329 23RD AV NE
7	766370	0554	9/15/04	\$225,000	1060	0	6	1951	3	5885	N	N	14329 26TH AV NE
7	638150	0385	7/8/04	\$251,025	1100	0	6	1949	4	6013	N	N	14323 25TH AV NE
7	638150	1055	6/24/03	\$285,000	1100	450	6	1948	4	7199	N	N	13753 22ND AV NE
7	663230	0192	7/21/04	\$242,000	1120	0	6	1936	3	8595	N	N	14343 19TH AV NE
7	638150	1475	4/1/03	\$203,300	1130	0	6	1942	4	8820	N	N	2624 NE 138TH ST
7	641410	0261	11/10/03	\$247,000	1190	0	6	1940	3	7998	N	N	12525 12TH AV NE
7	766370	0454	4/16/04	\$242,000	1200	0	6	1941	3	5900	N	N	2740 NE 143RD ST
7	685570	0055	11/17/03	\$218,500	1250	0	6	1952	3	8840	N	N	1710 NE 136TH ST
7	113300	0645	8/13/03	\$240,000	1330	0	6	1919	4	9500	N	N	13304 17TH AV NE
7	766370	0510	4/30/04	\$268,450	1380	0	6	1952	3	9028	N	N	14320 26TH AV NE
7	685570	0065	6/10/04	\$259,000	1650	0	6	1952	3	8840	N	N	1722 NE 136TH ST
7	638150	1636	7/20/04	\$238,000	1780	0	6	1947	3	6840	N	N	13515 27TH AV NE
7	685570	0070	7/26/04	\$255,000	1780	0	6	1952	4	8840	N	N	1728 NE 136TH ST
7	638150	1950	6/16/04	\$284,000	1840	0	6	1949	4	6343	N	N	13544 22ND AV NE
7	638150	0500	2/24/03	\$272,000	760	760	7	1944	4	7982	N	N	2427 NE 143RD ST
7	638150	1555	4/7/04	\$284,950	810	810	7	1952	4	6308	N	N	2603 NE 137TH ST
7	212604	9076	7/14/04	\$300,200	840	110	7	1941	3	6679	N	N	12517 22ND AV NE
7	382220	0126	4/15/04	\$218,500	860	0	7	1947	4	9263	N	N	13740 27TH AV NE
7	638150	0290	10/4/04	\$255,000	860	0	7	1944	3	7673	N	N	14332 24TH AV NE

**Improved Sales Used in this Annual Update Analysis
Area 8
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
7	663230	0235	1/14/04	\$297,950	860	570	7	1940	4	10290	N	N	14320 19TH AV NE
7	638150	1315	8/8/03	\$196,000	870	0	7	1948	3	6174	N	N	13755 25TH AV NE
7	145360	0381	7/22/04	\$265,000	890	0	7	1942	3	11760	N	N	13013 31ST AV NE
7	638150	0490	4/14/03	\$233,000	900	760	7	1944	3	7853	N	N	14057 25TH AV NE
7	070500	0135	10/25/04	\$246,000	910	0	7	1950	3	6000	N	N	2517 NE 134TH ST
7	113300	0537	6/2/04	\$226,000	910	0	7	1971	3	9500	N	N	13034 19TH AV NE
7	382220	0110	6/14/03	\$250,000	910	200	7	1947	4	7668	N	N	13704 27TH AV NE
7	663230	0153	8/12/03	\$238,000	910	0	7	1951	3	6600	N	N	14025 20TH AV NE
7	383450	0302	8/31/04	\$209,950	920	0	7	1949	4	8422	N	N	2611 NE 130TH ST
7	766370	0762	10/14/04	\$296,800	920	920	7	1953	3	7320	N	N	14027 30TH AV NE
7	437320	0025	12/6/04	\$325,000	930	0	7	1951	4	6829	N	N	13332 10TH AV NE
7	113300	0007	5/26/04	\$238,500	940	120	7	1954	3	5624	N	N	12506 19TH AV NE
7	638150	0605	5/22/03	\$235,000	940	0	7	1948	3	6702	N	N	14013 24TH AV NE
7	641410	0710	11/10/04	\$287,000	940	300	7	1950	3	9188	N	N	12722 ROOSEVELT WY
7	070500	0195	3/5/04	\$256,000	950	0	7	1950	3	6000	N	N	2602 NE 133RD ST
7	383450	0301	10/23/03	\$223,000	950	0	7	1951	3	8427	N	N	2603 NE 130TH ST
7	383450	0385	10/26/04	\$280,000	950	0	7	1953	3	8410	N	N	12726 25TH AV NE
7	212604	9106	6/3/04	\$289,950	970	970	7	1940	4	8400	N	N	2904 NE 130TH ST
7	382220	0016	11/8/04	\$305,000	970	700	7	1953	3	9000	N	N	13402 27TH AV NE
7	638150	1245	3/19/03	\$275,000	970	300	7	1939	3	7846	N	N	13746 23RD PL NE
7	913210	0035	2/12/04	\$260,000	970	390	7	1948	4	8832	N	N	12513 24TH AV NE
7	638150	1480	10/1/03	\$205,000	980	0	7	1955	3	6600	N	N	13815 27TH AV NE
7	766370	0511	8/30/04	\$294,900	980	0	7	1951	3	8370	N	N	14333 27TH AV NE
7	212604	9139	9/11/03	\$262,000	990	0	7	1947	3	9500	N	N	2321 NE 127TH ST
7	638150	1535	5/20/03	\$235,000	1000	0	7	1950	3	5000	N	N	2618 NE 137TH ST
7	212604	9086	1/30/04	\$207,000	1010	0	7	1949	3	8100	N	N	13344 20TH AV NE
7	638150	0055	11/22/04	\$275,000	1010	0	7	1950	3	7800	N	N	14304 20TH AV NE
7	209270	0070	3/23/03	\$242,000	1020	0	7	1953	3	6000	N	N	2345 NE 128TH ST
7	209270	0085	10/2/03	\$249,950	1020	0	7	1953	3	7022	N	N	12715 25TH AV NE
7	145360	0164	6/27/03	\$320,000	1040	600	7	2003	3	6504	N	N	13320 30TH AV NE
7	382220	0031	8/5/04	\$312,500	1050	480	7	1948	3	8909	N	N	13309 30TH AV NE

**Improved Sales Used in this Annual Update Analysis
Area 8
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
7	566710	0025	8/24/04	\$240,000	1050	0	7	1953	4	7683	N	N	1003 NE 126TH ST
7	212604	9063	3/8/04	\$265,500	1060	0	7	1940	3	10247	N	N	13057 30TH AV NE
7	641410	0294	3/22/04	\$253,000	1060	770	7	1950	4	6330	N	N	12505 14TH AV NE
7	663230	0122	8/13/03	\$240,094	1060	0	7	1959	3	9506	N	N	14046 17TH AV NE
7	113300	0380	6/11/03	\$305,000	1070	360	7	1955	4	11568	N	N	1712 NE BROCKMAN PL
7	663230	0008	11/12/03	\$247,500	1070	0	7	1950	4	10552	N	N	13713 19TH AV NE
7	913210	0025	8/26/03	\$250,000	1070	0	7	1948	4	6062	N	N	12528 24TH AV NE
7	766370	0610	9/10/04	\$320,000	1080	780	7	1953	3	9364	N	N	14025 26TH AV NE
7	766370	0654	11/22/04	\$319,500	1080	140	7	1953	3	7808	N	N	14040 26TH AV NE
7	425090	0100	4/27/04	\$300,950	1100	400	7	1956	3	8170	N	N	2400 NE 133RD ST
7	442710	0060	8/12/04	\$315,000	1100	0	7	1953	4	7200	N	N	13544 15TH PL NE
7	638150	0400	11/18/03	\$300,000	1100	800	7	1951	4	7062	N	N	14080 24TH AV NE
7	638150	1545	6/27/03	\$200,000	1100	0	7	1949	3	7151	N	N	13729 27TH AV NE
7	766370	0680	11/24/04	\$232,500	1110	0	7	1952	3	7716	N	N	2616 NE 140TH ST
7	070500	0080	6/22/04	\$281,000	1120	0	7	1950	3	9800	N	N	13416 26TH AV NE
7	212604	9209	1/28/04	\$228,500	1120	0	7	1954	3	6000	N	N	2330 NE 127TH ST
7	113300	0375	5/7/04	\$297,000	1130	790	7	1940	3	21323	N	N	1708 NE BROCKMAN PL
7	641410	0191	1/21/04	\$237,500	1140	0	7	1950	3	7200	N	N	12623 10TH AV NE
7	641410	0244	3/21/03	\$215,000	1150	0	7	1950	3	7057	N	N	1056 NE 125TH ST
7	425090	0030	6/18/03	\$245,000	1160	0	7	1932	4	8100	N	N	13331 25TH AV NE
7	638150	1430	6/6/03	\$244,990	1160	0	7	1952	4	6600	N	N	2609 NE 140TH ST
7	113300	0542	11/18/04	\$329,000	1170	500	7	1977	3	9500	N	N	13312 19TH AV NE
7	638150	0300	6/16/03	\$249,950	1170	480	7	1944	4	8584	N	N	14322 24TH AV NE
7	113300	0470	11/7/03	\$289,950	1190	460	7	1968	3	7586	N	N	1912 NE 127TH ST
7	766370	0623	4/6/04	\$252,000	1190	0	7	1953	3	9364	N	N	14019 26TH AV NE
7	145360	0124	5/6/03	\$235,000	1200	0	7	1950	3	7000	N	N	3036 NE 133RD ST
7	638150	2060	8/16/04	\$255,000	1200	0	7	1952	3	7932	N	N	2017 NE 135TH PL
7	638150	2060	4/5/04	\$220,000	1200	0	7	1952	3	7932	N	N	2017 NE 135TH PL
7	442710	0105	9/11/03	\$254,000	1210	0	7	1953	3	6240	N	N	13519 16TH AV NE
7	442710	0145	6/18/04	\$272,450	1230	0	7	1953	3	7200	N	N	13552 16TH AV NE
7	638150	1665	4/22/03	\$310,000	1240	850	7	1986	3	11200	N	N	2518 NE 135TH ST

**Improved Sales Used in this Annual Update Analysis
Area 8
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
7	766370	0742	12/9/03	\$315,000	1240	600	7	1975	3	9638	N	N	2749 NE 143RD ST
7	638150	0870	2/27/03	\$235,000	1250	0	7	1953	3	9600	N	N	14046 20TH AV NE
7	638150	2035	7/6/04	\$252,500	1250	0	7	1950	3	9861	N	N	13563 23RD AV NE
7	766370	0543	9/2/03	\$271,500	1250	420	7	1962	4	7956	N	N	2513 NE 145TH ST
7	113300	0087	1/21/04	\$259,900	1260	1040	7	1938	3	6000	N	N	12546 17TH AV NE
7	212604	9014	6/25/04	\$335,000	1260	1260	7	1972	4	8550	N	N	13026 27TH AV NE
7	212604	9239	6/18/04	\$318,000	1260	610	7	1978	3	8151	N	N	13339 22ND AV NE
7	641410	0312	7/18/03	\$320,000	1260	380	7	1949	3	11008	N	N	12529 14TH AV NE
7	638150	2125	9/21/04	\$365,000	1270	520	7	1962	3	10699	N	N	13553 22ND AV NE
7	641410	0290	2/28/03	\$217,500	1270	0	7	1949	3	6600	N	N	12510 12TH AV NE
7	641410	0532	9/9/04	\$300,000	1270	680	7	1959	3	7841	N	N	1119 NE 130TH ST
7	070500	0215	4/30/03	\$254,950	1280	0	7	1951	4	6000	N	N	2508 NE 133RD ST
7	145360	0103	6/10/04	\$355,000	1280	820	7	1989	3	5000	N	N	3110 NE 133RD ST
7	113300	0146	7/14/04	\$320,000	1290	720	7	1936	4	7206	N	N	12545 19TH AV NE
7	638150	1105	8/8/03	\$280,000	1300	580	7	1967	3	5709	N	N	13730 22ND AV NE
7	766370	0731	10/22/04	\$254,950	1300	0	7	1953	3	10462	N	N	14008 27TH AV NE
7	212604	9168	5/1/03	\$269,950	1320	0	7	2002	3	10608	N	N	12505 25TH AV NE
7	638150	1611	5/5/03	\$245,000	1340	0	7	1946	4	13340	N	N	2525 NE 136TH ST
7	663230	0478	8/21/03	\$264,000	1350	0	7	1959	4	7255	N	N	1614 NE 137TH ST
7	212604	9022	8/21/03	\$245,000	1360	0	7	1950	3	7924	N	N	12515 25TH AV NE
7	638150	1356	3/8/04	\$355,000	1360	850	7	1940	5	8199	N	N	13712 25TH AV NE
7	766370	0752	9/24/03	\$310,950	1360	690	7	1968	3	6727	N	N	14038 28TH AV NE
7	113300	0136	9/10/03	\$309,950	1370	820	7	1967	3	8000	N	N	12713 19TH AV NE
7	113300	0695	12/8/03	\$295,000	1370	1120	7	1976	3	9500	N	N	13311 19TH AV NE
7	663230	0202	8/27/04	\$310,000	1370	0	7	1961	3	7808	N	N	14347 19TH AV NE
7	663230	0560	2/10/04	\$355,000	1370	850	7	2003	4	10850	N	N	13745 15TH AV NE
7	663230	0466	10/27/04	\$265,000	1390	0	7	1960	3	7800	N	N	13721 17TH AV NE
7	442710	0125	10/22/03	\$255,000	1400	0	7	1953	4	7200	N	N	13545 16TH AV NE
7	638150	1595	9/2/04	\$265,000	1410	0	7	1948	4	6780	N	N	2610 NE 136TH ST
7	442710	0075	1/30/04	\$266,000	1420	0	7	1953	4	6240	N	N	13524 15TH PL NE
7	638150	1560	5/21/04	\$320,000	1420	0	7	1949	3	5001	N	N	2607 NE 137TH ST

**Improved Sales Used in this Annual Update Analysis
Area 8
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
7	212604	9011	8/28/03	\$239,950	1430	0	7	1952	3	12081	N	N	2225 NE 127TH ST
7	442660	0145	10/22/03	\$299,950	1460	260	7	1952	4	9155	N	N	12709 23RD AV NE
7	663230	0154	9/2/04	\$290,000	1480	0	7	1951	3	6600	N	N	14019 20TH AV NE
7	663230	0146	9/16/04	\$250,000	1490	0	7	1960	3	9368	N	N	14028 19TH AV NE
7	663230	0219	8/19/04	\$246,500	1490	0	7	1992	3	2144	N	N	14350 A 19TH AV NE
7	113300	0523	3/12/04	\$240,000	1500	0	7	1949	3	7800	N	N	13010 19TH AV NE
7	209270	0055	12/15/03	\$259,950	1500	0	7	1953	4	8101	N	N	2332 NE 128TH ST
7	442660	0040	10/21/04	\$300,000	1500	0	7	1952	3	9315	N	N	2314 NE 128TH ST
7	442710	0015	3/23/04	\$256,000	1500	0	7	1953	4	6349	N	N	13547 15TH PL NE
7	442710	0155	5/25/04	\$259,600	1500	0	7	1953	3	6240	N	N	13538 16TH AV NE
7	638150	0010	11/12/04	\$265,150	1500	0	7	1946	4	6925	N	N	14351 22ND AV NE
7	178760	0060	10/23/04	\$320,000	1520	400	7	1935	4	12000	N	N	529 NE 131ST PL
7	202604	9086	3/20/03	\$274,000	1530	0	7	1950	4	7780	N	N	13017 11TH AV NE
7	212604	9204	8/27/03	\$248,000	1530	0	7	1953	4	8182	N	N	13039 23RD PL NE
7	070500	0085	3/4/04	\$260,000	1570	0	7	1950	4	7000	N	N	2604 NE 134TH ST
7	070500	0095	6/25/03	\$265,000	1570	0	7	1950	4	7000	N	N	2618 NE 134TH ST
7	070500	0175	4/26/04	\$265,000	1570	0	7	1950	3	7000	N	N	2624 NE 133RD ST
7	383450	0475	1/8/04	\$235,000	1590	0	7	1924	4	8438	N	N	12514 25TH AV NE
7	638150	0700	7/16/04	\$285,000	1590	0	7	1944	4	7085	N	N	14066 22ND AV NE
7	663230	0012	11/11/03	\$315,000	1590	820	7	1951	4	10649	N	N	13721 19TH AV NE
7	442710	0070	12/1/03	\$264,195	1620	0	7	1953	4	6240	N	N	13532 15TH PL NE
7	638150	0065	7/21/03	\$250,000	1630	0	7	1950	3	7800	N	N	14316 20TH AV NE
7	638150	1005	6/24/04	\$245,000	1670	0	7	1951	4	5000	N	N	2006 NE 137TH ST
7	145360	0224	8/29/03	\$283,000	1690	0	7	1956	4	5790	N	N	3013 NE 135TH ST
7	113300	0721	8/22/03	\$300,000	1700	0	7	1962	4	8720	N	N	13302 15TH AV NE
7	638150	0865	12/14/04	\$307,000	1730	0	7	1944	5	9600	N	N	14052 20TH AV NE
7	638150	1610	7/28/04	\$264,950	1780	0	7	1951	3	8013	N	N	2511 NE 136TH ST
7	766370	0522	9/30/03	\$298,500	1820	0	7	1961	3	9486	N	N	14316 26TH AV NE
7	766370	0671	9/17/03	\$252,500	1830	0	7	1952	3	8501	N	N	14021 27TH AV NE
7	070500	0030	1/22/04	\$286,500	1850	0	7	1951	4	7000	N	N	2508 NE 134TH ST
7	437320	0085	6/17/03	\$279,500	1980	0	7	1947	3	7500	N	N	13339 11TH AV NE

**Improved Sales Used in this Annual Update Analysis
Area 8
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
7	212604	9282	7/2/04	\$331,000	2180	0	7	1923	3	9272	N	N	13051 30TH AV NE
7	638150	0720	8/25/04	\$350,000	2240	0	7	1992	3	7085	N	N	14044 22ND AV NE
7	638150	1765	12/16/04	\$425,000	2260	0	7	1999	3	6726	N	N	13532 23RD PL NE
7	212604	9195	6/8/04	\$355,950	2280	0	7	1953	4	8184	N	N	13031 23RD PL NE
7	202604	9063	12/18/03	\$330,000	2450	0	7	1950	3	16756	N	N	13324 11TH AV NE
7	185470	0065	3/3/03	\$287,500	1010	950	8	1951	3	7200	N	N	541 NE 130TH ST
7	185470	0075	6/10/03	\$265,000	1130	590	8	1950	3	7200	N	N	529 NE 130TH ST
7	113300	0290	2/26/04	\$319,000	1160	1160	8	1958	3	11875	N	N	12737 17TH AV NE
7	942150	0150	9/28/04	\$308,000	1200	630	8	1960	3	8004	N	N	13338 28TH AV NE
7	178760	0055	9/21/04	\$399,990	1210	1210	8	1954	4	7219	N	N	812 NE 130TH ST
7	185470	0040	5/20/04	\$339,000	1210	270	8	1953	3	7200	N	N	546 NE 130TH ST
7	247090	0010	10/24/03	\$294,000	1250	890	8	1954	3	8530	N	N	13037 8TH CT NE
7	942150	0050	10/6/03	\$297,000	1260	630	8	1960	3	8016	N	N	13327 28TH AV NE
7	202604	9094	9/2/04	\$345,000	1270	450	8	1952	3	7220	N	N	1109 NE 135TH ST
7	641410	0140	8/20/03	\$320,000	1280	910	8	1990	3	7200	N	N	815 NE 127TH ST
7	942150	0060	11/8/04	\$315,000	1280	630	8	1960	3	8010	N	N	13333 28TH AV NE
7	437320	0050	6/17/04	\$365,000	1300	540	8	1950	4	7467	N	N	13302 10TH AV NE
7	638150	1760	8/27/03	\$370,000	1370	1050	8	1943	5	6679	N	N	13540 23RD PL NE
7	766370	0712	4/27/04	\$305,950	1380	1380	8	1969	4	9300	N	N	14033 28TH AV NE
7	766370	0500	10/20/04	\$404,000	1440	900	8	2001	3	9808	N	N	14336 26TH AV NE
7	212604	9096	12/8/03	\$242,000	1460	0	8	1959	3	8290	N	N	2627 NE 133RD ST
7	641410	0311	2/24/03	\$282,000	1480	0	8	1947	3	11000	N	N	12528 12TH AV NE
7	178760	0056	3/20/03	\$314,950	1490	700	8	1950	3	11100	N	N	13006 8TH AV NE
7	641410	0653	8/26/03	\$330,000	1530	520	8	1960	4	8693	N	N	812 NE 127TH ST
7	113300	0662	4/17/03	\$367,500	1560	800	8	2003	3	7203	N	N	13336 17TH AV NE
7	212604	9007	9/2/03	\$290,000	1710	0	8	1952	4	8160	N	N	13003 23RD AV NE
7	663230	0563	5/13/04	\$360,000	1730	770	8	1949	4	7640	N	N	1207 NE 140TH ST
7	641410	0283	11/15/04	\$395,000	1780	0	8	1984	3	7210	N	N	1039 NE 127TH ST
7	641410	0559	1/16/03	\$330,000	1980	0	8	1977	3	9339	N	N	1027 A NE 130TH ST
7	202604	9313	8/23/04	\$550,000	2020	590	8	2004	3	7206	N	N	13300 11TH AV NE
7	202604	9314	8/23/04	\$540,000	2020	590	8	2004	3	7208	N	N	13308 11TH AV NE

**Improved Sales Used in this Annual Update Analysis
Area 8
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
7	113300	0661	4/29/03	\$379,950	2170	0	8	2003	3	7200	N	N	13342 17TH AV NE
7	113300	0106	8/19/04	\$368,000	2220	0	8	1966	4	10000	N	N	12712 17TH AV NE
7	382220	0029	12/6/04	\$437,000	2250	580	8	1945	3	7200	N	N	13426 27TH AV NE
7	212604	9315	4/9/04	\$409,950	2330	0	8	2003	3	7335	N	N	13035 25TH AV NE
7	641410	0682	2/25/04	\$375,000	2560	0	8	1960	3	7200	N	N	820 NE 128TH ST
7	113300	0660	2/26/03	\$385,750	2860	0	8	2002	3	7200	N	N	13346 17TH AV NE
7	113300	0083	8/20/03	\$440,000	3480	0	8	2000	3	7241	N	N	12536 17TH AV NE
8	679810	0375	11/18/04	\$218,500	560	0	5	1934	3	8040	N	N	11554 17TH AV NE
8	282604	9095	8/27/03	\$195,000	700	0	5	1938	3	9600	N	N	12302 20TH AV NE
8	890200	0414	3/19/04	\$224,950	700	200	6	1951	3	9967	N	N	11028 24TH AV NE
8	890100	1325	5/29/03	\$200,000	760	0	6	1940	3	9375	N	N	11047 23RD AV NE
8	679810	1010	6/25/04	\$225,000	770	0	6	1938	3	7272	N	N	12322 16TH AV NE
8	771560	0095	7/21/03	\$250,000	780	150	6	1944	3	9627	N	N	12332 22ND AV NE
8	771560	0100	12/9/04	\$327,500	780	100	6	1944	5	11952	N	N	12334 22ND AV NE
8	771560	0100	3/3/04	\$293,000	780	100	6	1944	5	11952	N	N	12334 22ND AV NE
8	890100	1081	4/20/04	\$268,000	840	0	6	1947	3	5250	N	N	1902 NE 113TH ST
8	890100	1120	9/9/03	\$245,000	850	0	6	1942	4	7500	N	N	11354 19TH AV NE
8	771560	0125	6/4/03	\$292,500	880	300	6	1944	3	7200	N	N	2022 NE 123RD ST
8	344800	1316	7/22/04	\$218,000	890	0	6	1940	3	5600	N	N	2517 NE 120TH ST
8	679810	0225	2/27/04	\$279,500	890	440	6	1927	4	8100	N	N	11757 19TH AV NE
8	942340	0170	8/27/03	\$212,000	1060	0	6	1910	4	8657	N	N	12045 25TH AV NE
8	890100	0485	3/14/03	\$293,000	1090	0	6	1940	4	10050	N	N	11347 17TH AV NE
8	890100	0551	9/13/04	\$298,000	1130	0	6	1948	4	7795	N	N	11344 17TH AV NE
8	679810	0185	2/13/04	\$275,000	1180	0	6	2002	3	7500	N	N	11714 19TH AV NE
8	183700	0025	8/21/03	\$307,000	1340	0	6	1947	3	8325	N	N	12038 22ND AV NE
8	990400	0025	6/24/03	\$250,000	1360	0	6	1928	3	9600	N	N	11719 25TH AV NE
8	282604	9115	8/16/04	\$270,000	860	0	7	1947	3	6480	N	N	2019 NE 117TH ST
8	771510	0020	8/4/03	\$311,000	890	650	7	1941	4	7920	N	N	12335 23RD AV NE
8	890100	0690	8/10/04	\$255,500	890	0	7	1949	3	6488	N	N	11031 GOODWIN WY
8	890100	1055	8/12/03	\$208,000	890	0	7	1923	4	7497	N	N	11047 20TH AV NE
8	437570	0170	8/9/04	\$292,000	930	0	7	1928	3	8040	N	N	11513 23RD AV NE

**Improved Sales Used in this Annual Update Analysis
Area 8
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
8	890200	0425	7/15/03	\$285,000	930	800	7	1941	4	11004	Y	N	11244 24TH AV NE
8	890100	1126	11/7/03	\$260,000	950	0	7	1950	3	6000	N	N	1921 NE 115TH ST
8	437570	0070	9/8/04	\$306,000	960	0	7	1951	3	8040	N	N	11515 22ND AV NE
8	679810	0420	12/29/04	\$280,500	960	0	7	1931	3	8100	N	N	11746 17TH AV NE
8	890100	1270	8/22/03	\$213,000	980	0	7	1933	3	8280	N	N	2016 NE NGATE WY
8	183700	0020	8/13/03	\$332,000	1000	420	7	1951	3	8160	N	N	12030 22ND AV NE
8	344800	0340	10/14/04	\$292,000	1000	840	7	1956	3	16160	N	N	12054 25TH AV NE
8	282604	9172	7/12/04	\$299,900	1080	0	7	1949	3	8100	N	N	12021 23RD AV NE
8	890100	1190	9/24/03	\$245,000	1080	0	7	1941	4	7200	N	N	11330 20TH AV NE
8	890100	1290	12/14/04	\$250,000	1080	140	7	1928	3	7800	N	N	11028 20TH AV NE
8	344800	0208	3/24/03	\$255,000	1090	540	7	1954	3	10769	N	N	12071 HIRAM PL NE
8	679810	0113	1/17/03	\$240,000	1090	0	7	1951	4	6300	N	N	11502 19TH AV NE
8	890100	0640	2/13/03	\$253,000	1100	0	7	1942	3	8100	N	N	11058 17TH AV NE
8	890100	0645	6/29/04	\$277,950	1100	0	7	1942	3	7903	N	N	11056 GOODWIN WY
8	282604	9260	10/11/04	\$345,000	1110	520	7	1990	3	7626	N	N	12033 20TH AV NE
8	890100	0450	4/28/04	\$274,950	1120	0	7	1950	3	5370	N	N	11332 15TH AV NE
8	890100	0560	9/17/04	\$295,000	1130	0	7	1940	4	7500	N	N	11354 17TH AV NE
8	686820	0050	11/13/03	\$319,000	1140	570	7	1947	3	8040	Y	N	2304 NE 115TH ST
8	890100	1070	12/27/04	\$385,000	1160	250	7	1946	3	7200	N	N	11025 20TH AV NE
8	890100	0705	3/31/04	\$237,000	1170	0	7	1944	3	10557	N	N	11011 GOODWIN WY
8	344800	1275	3/10/04	\$349,950	1180	580	7	1957	3	6216	N	N	11715 26TH AV NE
8	990400	0071	3/20/03	\$260,000	1190	200	7	1940	3	9600	N	N	11751 24TH AV NE
8	771560	0110	12/27/04	\$246,500	1210	100	7	1961	3	10669	N	N	12344 22ND AV NE
8	771510	0015	7/20/04	\$339,950	1230	140	7	1941	4	7920	N	N	12343 23RD AV NE
8	437570	0105	11/10/04	\$293,000	1240	0	7	1980	3	8040	N	N	11534 22ND AV NE
8	890100	0586	8/13/03	\$319,300	1260	400	7	1973	3	7500	N	N	11329 19TH AV NE
8	344800	1193	4/1/04	\$249,950	1280	0	7	1930	4	4750	N	N	2503 NE 120TH ST
8	344800	1310	7/9/04	\$294,900	1290	0	7	1931	3	5920	N	N	11739 26TH AV NE
8	344800	1310	3/12/04	\$268,000	1290	0	7	1931	3	5920	N	N	11739 26TH AV NE
8	050400	0019	6/21/04	\$294,900	1330	240	7	1997	3	1514	N	N	12344 HIRAM PL NE
8	435470	0010	8/6/03	\$267,500	1330	0	7	1954	4	6490	N	N	1912 NE 124TH ST

**Improved Sales Used in this Annual Update Analysis
Area 8
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
8	890100	1307	12/21/04	\$383,000	1330	880	7	1996	3	7503	N	N	11046 20TH AV NE
8	344800	0401	9/5/03	\$265,000	1340	0	7	2000	3	1850	N	N	12056 HIRAM PL NE
8	344800	0405	1/13/04	\$270,000	1340	0	7	2000	3	1303	N	N	2611 NE 123RD ST
8	942340	0036	5/5/04	\$307,000	1350	530	7	1962	3	7590	N	N	12320 24TH AV NE
8	344800	0421	2/4/03	\$232,000	1360	0	7	2001	3	1153	N	N	2703 NE 123RD ST
8	344800	0423	6/23/03	\$235,000	1360	0	7	2001	3	1031	N	N	2707 NE 123RD ST
8	679810	0320	5/20/04	\$288,000	1360	0	7	1940	3	8040	N	N	1716 NE 115TH ST
8	344800	0408	4/22/03	\$245,000	1380	0	7	2000	3	1802	N	N	12050 HIRAM PL NE
8	437570	0015	6/23/03	\$312,000	1380	0	7	1942	4	8040	N	N	11514 20TH AV NE
8	344800	1361	10/21/03	\$287,250	1390	1070	7	1962	3	6500	N	N	11538 25TH AV NE
8	890200	0389	5/21/03	\$340,000	1460	1060	7	1993	3	8955	Y	N	11323 24TH AV NE
8	679810	0095	12/5/03	\$310,450	1480	0	7	1950	4	8040	N	N	11515 20TH AV NE
8	282604	9067	7/6/04	\$300,000	1510	0	7	1935	4	7774	N	N	12013 20TH AV NE
8	679810	1181	2/18/04	\$340,000	1510	0	7	1951	5	8470	N	N	12050 PINEHURST WY
8	890100	0661	11/4/04	\$405,000	1510	690	7	1948	4	7500	N	N	1733 NE 113TH ST
8	890250	0013	8/27/03	\$250,000	1510	0	7	1949	3	10320	N	N	2448 NE NGATE WY
8	435470	0035	9/24/03	\$278,000	1550	0	7	1954	3	7140	N	N	1917 NE 124TH ST
8	686820	0045	10/20/04	\$378,000	1610	1230	7	1947	3	8040	N	N	11508 23RD AV NE
8	751250	0050	5/2/03	\$325,000	1610	0	7	1952	3	9720	N	N	12303 18TH AV NE
8	679810	1180	10/27/03	\$294,950	1650	0	7	1950	3	6634	N	N	12037 17TH AV NE
8	435470	0020	2/18/04	\$270,000	1720	0	7	1954	4	7670	N	N	1902 NE 124TH ST
8	890100	1060	2/28/03	\$309,900	1790	0	7	1927	5	7795	N	N	11041 20TH AV NE
8	890100	0630	6/11/03	\$300,000	1910	0	7	1941	4	10152	N	N	11034 GOODWIN WY
8	679810	1120	7/17/03	\$338,000	1970	0	7	1991	3	7790	N	N	12029 PINEHURST WY
8	679810	0717	1/27/04	\$335,000	2030	0	7	1993	3	8100	N	N	11509 16TH AV NE
8	435470	0025	3/11/03	\$309,950	2070	0	7	1954	4	8340	N	N	1903 NE 124TH ST
8	942340	0102	9/23/04	\$365,000	2570	0	7	1972	3	7800	N	N	12301 25TH AV NE
8	437570	0165	7/20/03	\$375,000	2810	0	7	1950	4	8040	N	N	11523 23RD AV NE
8	679810	0114	3/19/04	\$499,000	3660	380	7	2000	3	8040	N	N	11510 19TH AV NE
8	679810	0114	8/1/03	\$375,000	3660	380	7	2000	3	8040	N	N	11510 19TH AV NE
8	686820	0095	7/1/03	\$343,000	1150	830	8	1954	4	8040	Y	N	11549 24TH AV NE

**Improved Sales Used in this Annual Update Analysis
Area 8
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
8	686820	0145	11/19/04	\$380,800	1260	720	8	1950	3	8040	Y	N	11510 24TH AV NE
8	990400	0064	12/4/03	\$320,000	1270	500	8	1949	4	9600	Y	N	11739 24TH AV NE
8	679810	0315	7/9/03	\$275,000	1280	0	8	1954	3	8040	N	N	11501 19TH AV NE
8	890100	1281	11/18/04	\$320,000	1300	270	8	1958	3	6000	N	N	11012 20TH AV NE
8	574570	0020	5/23/04	\$350,000	1340	650	8	1963	3	7272	N	N	1726 NE 122ND ST
8	679810	1065	12/12/03	\$308,950	1420	600	8	1979	4	8418	N	N	12327 PINEHURST WY
8	890100	1250	12/16/04	\$337,000	1510	0	8	1966	4	7200	N	N	11315 23RD AV NE
8	890100	0339	7/22/04	\$333,500	1520	0	8	1962	4	7500	N	N	11030 15TH AV NE
8	437570	0130	3/18/03	\$275,000	1560	0	8	1941	4	8040	N	N	2205 NE 117TH ST
8	686820	0110	3/27/04	\$414,000	1590	1300	8	1951	4	8040	Y	N	11552 24TH AV NE
8	679810	0235	9/22/03	\$354,000	1860	120	8	1928	4	8100	N	N	11743 19TH AV NE
8	282604	9265	8/18/03	\$322,000	2030	0	8	1993	3	7216	N	N	1704 NE 123RD ST
8	890100	1061	4/18/03	\$419,500	2090	0	8	2003	3	7200	N	N	11045 20TH AV NE
8	344800	0341	10/14/04	\$360,000	2150	0	8	1998	3	5670	N	N	12050 25TH AV NE
8	777050	0030	11/16/04	\$398,000	2210	0	8	1966	3	8610	N	N	12311 24TH AV NE
8	282604	9070	6/18/03	\$486,000	2250	0	8	2003	3	8300	N	N	12055 20TH AV NE
8	282604	9277	5/23/03	\$509,950	2270	0	9	2003	3	9421	N	N	12053 20TH AV NE
8	777050	0070	7/21/04	\$660,000	2580	0	9	2001	3	11627	N	N	12326 24TH AV NE
8	344800	0364	9/3/04	\$630,000	3810	0	10	2004	3	11625	N	N	2504 NE 120TH ST

**Improved Sales Removed from this Annual Update Analysis
Area 8
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Comments
1	075200	0145	9/13/04	\$186,000	DIAGNOSTIC OUTLIER
1	145360	2262	7/30/03	\$255,000	TEAR DOWN
1	145410	0023	6/19/03	\$135,000	DOR RATIO
1	145410	0030	1/13/03	\$264,500	IMP. CHAR CHANGED SINCE SALE
1	145410	0101	11/4/04	\$252,000	DIAGNOSTIC OUTLIER
1	145410	0152	8/14/03	\$113,278	QUIT CLAIM DEED
1	145410	0251	12/22/04	\$86,775	DOR RATIO
1	145410	0381	3/3/04	\$287,500	RELATED PARTY, FRIEND, OR NEIGHBOR
1	145410	0431	1/13/04	\$162,500	RELATED PARTY, FRIEND, OR NEIGHBOR
1	145410	0445	6/1/04	\$295,839	IMP COUNT
1	256830	0330	1/9/03	\$130,191	QUIT CLAIM DEED
1	282604	9055	3/9/04	\$329,000	DIAGNOSTIC OUTLIER
1	344800	0671	5/26/04	\$330,000	STATEMENT TO DOR;
1	344800	1055	8/1/03	\$141,000	RELATED PARTY, FRIEND, OR NEIGHBOR
1	344800	2315	11/5/03	\$290,000	NON-REP SALE
1	383400	0310	2/27/04	\$160,000	NON-REP SALE
1	383400	0810	3/1/04	\$225,000	ESTATE ADMIN., GUARDIAN, OR EXECUTOR
1	393590	0330	3/19/04	\$160,000	TEAR DOWN
1	399270	0110	11/14/03	\$170,000	NON-REP SALE
1	399270	0230	11/10/04	\$339,000	DIAGNOSTIC OUTLIER
1	399270	0330	12/1/04	\$354,000	NON-REP SALE
1	399270	0375	9/13/04	\$180,000	TEAR DOWN
1	399270	0405	11/12/04	\$320,000	DIAGNOSTIC OUTLIER
1	399270	0630	5/26/04	\$318,900	ESTATE ADMIN., GUARDIAN, OR EXECUTOR
1	407780	0216	8/19/03	\$285,000	IMP. CHAR CHANGED SINCE SALE
1	407780	0258	8/21/03	\$285,750	NON-REP SALE
1	407780	0421	2/19/03	\$189,900	SHERIFF TAX SALE; % COMPLETE
1	407780	0446	6/14/04	\$315,000	DIAGNOSTIC OUTLIER
1	407780	0468	7/29/03	\$290,000	NON-REP SALE
1	407780	0503	6/27/03	\$83,850	QUIT CLAIM DEED
1	407780	0518	7/27/03	\$34,995	QUIT CLAIM DEED
1	407780	0537	7/20/04	\$345,000	DIAGNOSTIC OUTLIER
1	417710	0025	4/25/03	\$300,000	IMP. CHAR CHANGED SINCE SALE
1	417710	0035	12/23/04	\$213,100	DIAGNOSTIC OUTLIER
1	514400	0036	1/22/03	\$250,000	RELATED PARTY, FRIEND, OR NEIGHBOR
1	637000	0045	12/29/03	\$195,000	DIAGNOSTIC OUTLIER
1	882090	0304	3/10/03	\$185,000	NON-REP SALE
1	882090	0685	6/25/03	\$195,000	NON-REP SALE
1	882090	1120	1/23/03	\$86,165	QUIT CLAIM DEED
1	882090	3090	9/29/04	\$225,000	TEAR DOWN
1	882090	3401	5/5/03	\$93,099	QUIT CLAIM DEED

**Improved Sales Removed from this Annual Update Analysis
Area 8
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Comments
1	882090	3465	7/19/04	\$235,000	ESTATE ADMIN., GUARDIAN, OR EXECUTOR
1	882190	0095	8/4/03	\$180,000	IMP. CHAR CHANGED SINCE SALE
1	882190	0165	2/12/03	\$190,000	DIAGNOSTIC OUTLIER
1	890250	0245	7/9/04	\$550,000	ESTATE ADMIN., GUARDIAN, OR EXECUTOR
1	890250	0350	5/15/03	\$170,000	NON-REP SALE
1	890300	0067	3/20/03	\$296,500	BANKRUPTCY - RECEIVER OR TRUSTEE
1	932480	0295	9/18/03	\$196,000	BANKRUPTCY - RECEIVER OR TRUSTEE
1	933840	0055	6/28/04	\$230,000	ESTATE ADMIN., GUARDIAN, OR EXECUTOR
1	981170	0020	7/6/04	\$195,000	DIAGNOSTIC OUTLIER
3	156610	0076	3/7/03	\$302,500	NO MARKET EXPOSURE
3	156610	0105	7/2/03	\$242,000	IMP. CHAR CHANGED SINCE SALE
3	156610	0705	6/16/03	\$593,100	CORRECTION DEED
3	167540	0015	5/13/03	\$213,500	ESTATE ADMIN., GUARDIAN, OR EXECUTOR
3	256830	0047	3/18/03	\$89,080	RELATED PARTY, FRIEND, OR NEIGHBOR
3	256830	0130	7/15/03	\$530,000	TEAR DOWN
3	256830	0147	4/17/03	\$251,500	MULTI-PARCEL SALE
3	256880	0020	11/7/03	\$275,000	NO MARKET EXPOSURE
3	256880	0284	11/5/03	\$392,000	NON-REP SALE
3	262960	0020	9/2/04	\$200,500	NON-REP SALE
3	272604	9079	5/15/03	\$189,900	DOR RATIO
3	272604	9145	1/6/03	\$152,771	CORPORATE AFFILIATES
3	272604	9163	9/23/03	\$319,500	ESTATE ADMIN., GUARDIAN, OR EXECUTOR
3	342604	9066	6/16/03	\$425,000	NO MARKET EXPOSURE
3	342604	9077	1/16/04	\$410,000	BUILDER OR DEVELOPER SALES
3	342604	9077	12/22/03	\$400,000	BUILDER OR DEVELOPER SALES
3	342604	9170	8/25/03	\$345,000	RELATED PARTY, FRIEND, OR NEIGHBOR
3	342604	9181	4/27/04	\$441,000	DIAGNOSTIC OUTLIER
3	342604	9181	5/12/03	\$279,000	IMP. CHAR CHANGED SINCE SALE
3	407320	0030	6/2/04	\$375,000	IMP COUNT
3	407320	0040	8/15/03	\$51,298	QUIT CLAIM DEED
3	407320	0040	2/6/04	\$91,400	QUIT CLAIM DEED
3	407320	0055	7/16/03	\$235,000	NO MARKET EXPOSURE
3	407320	0095	8/12/03	\$178,000	NON-REP SALE
3	407380	0133	9/12/03	\$299,950	NON-REP SALE
3	407380	0335	9/11/03	\$197,000	NO MARKET EXPOSURE
3	407430	0005	11/23/04	\$149,500	QUIT CLAIM DEED
3	407430	0070	3/26/03	\$69,970	RELATED PARTY, FRIEND, OR NEIGHBOR
3	407780	0328	5/19/04	\$299,950	IMP COUNT
3	407780	0388	2/25/03	\$244,454	OBSOLESCENCE
3	520820	0155	7/6/04	\$369,500	ESTATE ADMIN., GUARDIAN, OR EXECUTOR
3	521020	0098	5/5/03	\$324,784	NO MARKET EXPOSURE

**Improved Sales Removed from this Annual Update Analysis
Area 8
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Comments
3	540810	0010	2/18/03	\$194,000	RELATED PARTY, FRIEND, OR NEIGHBOR
3	541850	0580	4/8/03	\$433,000	ESTATE ADMIN., GUARDIAN, OR EXECUTOR
3	541850	1010	5/29/03	\$534,000	RELATED PARTY, FRIEND, OR NEIGHBOR
3	864750	0035	7/7/03	\$388,000	RELATED PARTY, FRIEND, OR NEIGHBOR
3	945520	0520	8/11/04	\$420,000	STATEMENT TO DOR;
3	945520	0525	2/14/03	\$246,231	STATEMENT TO DOR;
3	955320	0134	9/26/03	\$320,000	TEAR DOWN
3	955420	0050	3/19/04	\$197,500	ESTATE ADMIN., GUARDIAN, OR EXECUTOR
3	955420	0125	4/10/03	\$330,000	NO MARKET EXPOSURE
7	113300	0059	3/4/03	\$187,500	IMP. CHAR CHANGED SINCE SALE
7	113300	0106	10/10/03	\$299,925	NON-REP SALE
7	113300	0106	6/10/04	\$255,000	NON-REP SALE
7	113300	0242	10/15/03	\$349,000	ESTATE ADMIN., GUARDIAN, OR EXECUTOR
7	113300	0290	7/22/04	\$395,000	DIAGNOSTIC OUTLIER
7	113300	0331	8/2/04	\$367,500	DIAGNOSTIC OUTLIER
7	113300	0622	5/4/04	\$195,000	BANKRUPTCY - RECEIVER OR TRUSTEE
7	145360	0125	1/28/04	\$120,202	QUIT CLAIM DEED
7	145360	0203	7/28/03	\$199,000	IMP. CHAR CHANGED SINCE SALE
7	145360	0363	6/18/04	\$105,300	NON-REP SALE
7	190550	0100	12/6/04	\$230,500	NON-REP SALE
7	202604	9037	9/6/03	\$140,000	BUILDER OR DEVELOPER SALES
7	202604	9061	5/20/03	\$285,000	NON-REP SALE
7	212604	9166	6/10/04	\$160,000	NON-REP SALE
7	212604	9173	11/4/04	\$422,000	DIAGNOSTIC OUTLIER
7	212604	9216	9/30/03	\$230,000	RELATED PARTY, FRIEND, OR NEIGHBOR
7	212604	9226	12/23/03	\$291,000	RELATED PARTY, FRIEND, OR NEIGHBOR
7	212604	9277	5/14/03	\$100,000	QUIT CLAIM DEED
7	212604	9277	3/19/03	\$32,675	QUIT CLAIM DEED
7	212604	9284	1/10/03	\$270,000	RELATED PARTY, FRIEND, OR NEIGHBOR
7	382170	0010	4/24/04	\$180,000	ESTATE ADMIN., GUARDIAN, OR EXECUTOR
7	382170	0062	5/2/03	\$175,000	IMP. CHAR CHANGED SINCE SALE
7	382220	0023	2/6/03	\$265,000	DIAGNOSTIC OUTLIER
7	382220	0090	4/13/04	\$227,000	ESTATE ADMIN., GUARDIAN, OR EXECUTOR
7	382220	0111	1/20/03	\$174,000	NON-REP SALE
7	382220	0135	7/1/04	\$318,000	NON-REP SALE
7	442660	0030	4/28/03	\$180,000	RELATED PARTY, FRIEND, OR NEIGHBOR
7	442660	0075	4/27/04	\$260,000	ESTATE ADMIN., GUARDIAN, OR EXECUTOR
7	566710	0030	3/3/04	\$265,500	ESTATE ADMIN., GUARDIAN, OR EXECUTOR
7	638150	0095	4/21/04	\$272,000	ESTATE ADMIN., GUARDIAN, OR EXECUTOR
7	638150	0170	9/29/03	\$170,000	DIAGNOSTIC OUTLIER
7	638150	0515	2/21/03	\$82,500	QUIT CLAIM DEED

**Improved Sales Removed from this Annual Update Analysis
Area 8
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Comments
7	638150	1055	6/12/03	\$285,000	RELOCATION - SALE TO SERVICE
7	638150	1190	11/11/04	\$263,000	BUILDER OR DEVELOPER SALES
7	638150	1190	11/13/03	\$100,000	NO MARKET EXPOSURE
7	638150	1480	5/6/04	\$81,404	QUIT CLAIM DEED
7	638150	1540	11/8/04	\$152,000	NON-REP SALE
7	638150	1780	7/23/04	\$210,000	TEAR DOWN
7	638150	1795	7/9/03	\$229,190	BANKRUPTCY - RECEIVER OR TRUSTEE
7	638150	1810	9/29/04	\$305,000	ESTATE ADMIN., GUARDIAN, OR EXECUTOR
7	638150	1840	9/21/04	\$370,000	DIAGNOSTIC OUTLIER
7	638150	1905	7/23/03	\$62,039	QUIT CLAIM DEED
7	638150	1950	3/17/04	\$219,000	NON-REP SALE
7	638150	1975	6/25/04	\$350,000	DIAGNOSTIC OUTLIER
7	641410	0170	2/26/04	\$235,000	ESTATE ADMIN., GUARDIAN, OR EXECUTOR
7	641410	0460	1/7/04	\$221,977	ESTATE ADMIN., GUARDIAN, OR EXECUTOR
7	641410	0591	9/9/04	\$348,000	IMP COUNT
7	641410	0692	4/23/03	\$259,000	IMP. CHAR CHANGED SINCE SALE
7	663230	0041	11/19/03	\$145,000	BUILDER OR DEVELOPER SALES
7	663230	0043	3/31/04	\$81,701	QUIT CLAIM DEED
7	663230	0155	2/12/03	\$119,450	QUIT CLAIM DEED
7	663230	0235	11/4/04	\$136,365	QUIT CLAIM DEED
7	663230	0563	12/1/03	\$426,000	SEG/MERGE; PLOTTAGE; AND OTHER WARNINGS
7	685570	0005	10/22/04	\$200,000	NON-REP SALE
7	766370	0551	7/15/04	\$147,000	ESTATE ADMIN., GUARDIAN, OR EXECUTOR
7	766370	0562	4/15/03	\$145,000	IMP. CHAR CHANGED SINCE SALE
7	766370	0743	1/28/04	\$271,500	BANKRUPTCY - RECEIVER OR TRUSTEE
8	050400	0017	7/15/04	\$53,000	QUIT CLAIM DEED
8	282604	9067	6/20/03	\$410,000	IMP. CHAR CHANGED SINCE SALE
8	282604	9132	8/20/03	\$294,000	IMP. CHAR CHANGED SINCE SALE
8	282604	9214	11/13/03	\$180,000	TEAR DOWN
8	344800	0170	10/29/04	\$160,000	NON-REP SALE
8	344800	0185	7/11/03	\$305,000	DIAGNOSTIC OUTLIER
8	344800	0185	10/19/04	\$440,000	QUESTIONABLE PER SALES IDENTIFICATION
8	344800	0306	8/6/03	\$30,000	NON-REP SALE
8	344800	0330	8/19/03	\$287,000	NON-REP SALE
8	344800	0409	8/16/04	\$300,000	OBSOLESCENCE
8	344800	0409	9/17/03	\$255,000	OBSOLESCENCE
8	344800	0410	8/2/04	\$303,013	OBSOLESCENCE
8	344800	0411	8/26/04	\$304,575	OBSOLESCENCE
8	344800	0412	8/2/04	\$295,205	OBSOLESCENCE
8	344800	1475	6/17/04	\$199,000	ESTATE ADMIN., GUARDIAN, OR EXECUTOR
8	437570	0095	4/29/03	\$510,000	NON-REP SALE

**Improved Sales Removed from this Annual Update Analysis
Area 8
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Comments
8	679810	0055	4/14/03	\$137,193	QUIT CLAIM DEED
8	679810	0465	5/27/04	\$170,000	DIAGNOSTIC OUTLIER
8	679810	0680	5/10/04	\$205,000	ESTATE ADMIN., GUARDIAN, OR EXECUTOR
8	679810	0720	8/21/03	\$105,747	QUIT CLAIM DEED
8	679810	1105	10/26/04	\$215,000	DIAGNOSTIC OUTLIER
8	686820	0050	7/2/03	\$105,000	QUIT CLAIM DEED
8	686820	0110	9/2/03	\$277,000	NON-REP SALE
8	771560	0040	3/26/03	\$235,000	SELLING/BUYING COSTS AFFECTING SALE PRICE
8	890100	0466	6/21/04	\$265,000	DIAGNOSTIC OUTLIER
8	890100	0605	8/26/03	\$301,110	BANKRUPTCY - RECEIVER OR TRUSTEE
8	890100	0605	12/5/03	\$275,000	BANKRUPTCY - RECEIVER OR TRUSTEE
8	890100	0655	2/10/03	\$289,950	STATEMENT TO DOR;
8	890100	1145	11/17/04	\$299,000	BUILDER OR DEVELOPER SALES
8	890100	1145	10/17/03	\$393,000	IMP. CHAR CHANGED SINCE SALE
8	890100	1307	4/24/03	\$48,712	QUIT CLAIM DEED
8	890100	1595	7/16/04	\$320,000	RELOCATION - SALE BY SERVICE
8	890100	1595	7/16/04	\$320,000	RELOCATION - SALE TO SERVICE
8	890200	0325	3/10/03	\$165,000	ESTATE ADMIN., GUARDIAN, OR EXECUTOR
8	890200	0325	3/10/03	\$165,000	NON-REP SALE
8	890200	0400	9/6/04	\$335,000	STATEMENT TO DOR;
8	942340	0112	1/22/03	\$310,000	RELATED PARTY, FRIEND, OR NEIGHBOR
8	942340	0200	6/3/03	\$44,287	QUIT CLAIM DEED



King County
Department of Assessments
King County Administration Bldg.
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Scott Noble
Assessor

MEMORANDUM

DATE: January 31, 2005
TO: Residential Appraisers
FROM: Scott Noble, Assessor
SUBJECT: 2005 Revaluation for 2006 Tax Roll

The King County Assessor, as elected representative of the people of King County, is your client for the mass appraisal and summary report. The King County Department of Assessments subscribes to the Uniform Standards of Professional Appraisal Practice 2005. You will perform your appraisals and complete your summary mass appraisal reports in compliance with USPAP 2005. The following are your appraisal instructions and conditions:

1. You are to timely appraise the area or properties assigned to you by the revalue plan. The Departure Provision of USPAP may be invoked as necessary including special limiting conditions to complete the Revalue Plan.
2. You are to use all appropriate mass appraisal techniques as stated in USPAP, Washington State Law; Washington State Administrative Code, IAAO texts or classes.
3. The standard for validation models is the standard as delineated by IAAO in their Standard on Ratio Studies (approved 1999); and
4. Any and all other standards as published by the IAAO.
5. Appraise land as if vacant and available for development to its highest and best use [USPAP SR 6-2(i)]. The improvements are to be valued at their contribution to the total.
6. You must complete the revalue in compliance with all Washington and King County laws, codes and with due consideration of Department of Revenue guidelines. The Jurisdictional Exception is to be invoked in case USPAP does not agree with these public policies.

7. Physical inspections should be completed per the revaluation plan and statistical updates completed on the remainder of the properties as appropriate.
8. You must complete a written, summary, mass appraisal report for each area and a statistical update report in compliance with USPAP Standard 6.
9. All sales of land and improved properties should be validated as correct and verified with participants as necessary.
10. You must use at least two years of sales. No adjustments to sales prices shall be made to avoid any possibility of speculative market conditions skewing the basis for taxation.
11. Continue to review dollar per square foot as a check and balance to assessment value.
12. The intended use of the appraisal and report is the administration of ad valorem property taxation.
13. The intended users include the Assessor, Board of Equalization, Board of Tax Appeals, King County Prosecutor and Department of Revenue.
14. The land abstraction method should have limited use and only when the market indicates improved sales in a neighborhood are to acquire land only. The market will show this when a clear majority of purchased houses are demolished or remodeled by the new owner.
15. If "tear downs" are over 50% of improved sales in a neighborhood, they may be considered as an adjustment to the benchmark vacant sales. In analyzing a "tear down" ensure that you have accounted for any possible building value.

SN:swr